

HARTSVILLE/TROUSDALE COUNTY PLANNING COMMISSION

John Kerr – Chair
David Thomas – Vice Chair
Amanda Carman – Sec

Heather Bay
Katie Dillion
Mitch Gregory

Author "AB" Harper
David Nollner
Cal Welch

OCTOBER 14, 2024 | 7:00PM | TC COURTHOUSE

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

Regular meeting September 9, 2024

APPROVAL/CHANGES TO THE AGENDA

PUBLIC HEARING

NEW BUSINESS

REZONE

- Rezone request by Jeff and Pam Gregory for 3.25 acres from R2 to R3 on Front St (Map 019K A Parcels 26.00, 27.00) in the 7th Civil District for development

SITE PLAN REVIEW

- Site Plan for a new Field House by the Trousdale County Board of Education 200 East Main ST(Map 027C A Parcel 007.00) in the 7th Civil District

SKETCH PLAT

- Sketch Plat for a 9-lot subdivision on 7.15 acres at 345 Sam Beasley RD (Map 026 Parcel 37.04) by L&E Properties Developers LLC in the 7th Civil District.
- Sketch Plat for a 5-lot subdivision of 5.8 acres by Fleming Homes on Sulphur College Rd (Map 18 Parcels 4.42,4.43,4.44) in the 7th Civil District.

DISCUSSION

- Food Trucks- Regulation outline
- RV Parks

REPORT FROM CHAIRMAN

REPORT FROM PLANNING OFFICE

CLOSING REMARKS

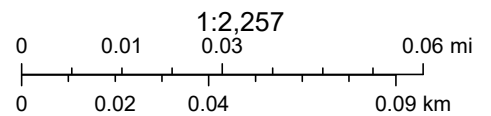
ADJOURN

Trousdale County - Parcel: 019K A 026.00



Date: September 25, 2024

County: Trousdale
 Owner: GREGORY JEFF ETUX PAM GREGORY
 Address: FRONT ST
 Parcel Number: 019K A 026.00
 Deeded Acreage: 0
 Calculated Acreage: 3
 Date of TDOT Imagery: 2021
 Date of Vexcel Imagery: 2023



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The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

\$350 APPLICATION FEE
\$150 SIGN DEPOSIT

HARTSVILLE/ TROUSDALE COUNTY

PLANNING OFFICE

328 Broadway, Room 1 | Hartsville, TN 37074

Office (615) 374-1125 | Cell (615) 374-5066

planning@trousdalecountytn.gov

ZONING CHANGE APPLICATION

PARCEL INFORMATION

Current Zoning R-2 Requested Zoning R-3 Reason [REDACTED]
Property Owner Jeff and Pam Gregory Phone (615) 633-7781
Property Address Front St TN 37074
Lot Size 3.25 acres Road Frontage _____ ft. Easements _____ ft
Tax Map Number 019K Group A Parcel 26.00,27.0 Record/Deed Book _____
Subdivision Name _____ Phase _____ Lot # _____
Water Source city Sewer or Septic sewer

APPLICANT INFORMATION

Applicant Name Jeff Gregory Phone [REDACTED]
Mailing Address 427 Andrews Ave Hartsville, TN 37074
Email: [REDACTED]

IMPACT INFORMATION

Zoning of Surrounding Properties R2, C1, R3
Names of Surrounding Property Owners THOMAS ALLEN, LARRY BORNLEY, ERIC WALLACE, WARD SCHOOL
Affected Roads FRONT ST
Schools Affected WARD SCHOOL
Public Utilities HARTSVILLE WATER, Tri County ELECTRIC

[REDACTED]
[Signature] Applicant Signature

Date Submitted _____

ACTION TAKEN

Reviewed by Planning Commission _____ Action
Reviewed by BZA _____ Action
Zoning Ordinance at County Commission _____
1st Reading _____ Action
Public Hearing _____ Action
2nd Reading _____ Action
Passed _____ Failed, state reason _____

HARTSVILLE/TROUSDALE COUNTY
PLANNING OFFICE | CODES, ZONING, AND BUILDING

328 Broadway, Room 1 | Hartsville, TN 37074
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htcgplanning@trousdalecountytn.gov

- SITE PLAN APPLICATION – \$250.00 MINOR SUBDIVISION APPLICATION – \$250.00
(5 lots or less)
- PLAT AMENDMENT APPLICATION – 200.00 MAJOR SUBDIVISION APPLICATION – \$500.00

PARCEL INFORMATION

Property Owner Trousdale County Board of Education Phone [REDACTED]

Property Address 200 East Main Street City Hartsville TN Zip code 37074

Tax Map Number 027C Group A Parcel 007.00 Record/Deed Book Not Available

Subdivision Name _____ Phase _____ Lot# _____

Water Source Hartsville/Trousdale County Sewer or Septic Sewer

APPLICANT INFORMATION

Applicant Name Trousdale County Schools (Dr. Clint Sat Phone [REDACTED]

Mailing Address 103 Lock Six Road City Hartsville TN Zip code 37074

Email [REDACTED]

[REDACTED] 9/9/2024

Applicant Signature _____ Date Submitted _____

IMPACT INFORMATION

Public Utilities Hartsville/Trousdale County Water & Sewer Department

Affected Roads Broadway, College St

Schools Affected Trousdale County Schools Athletics

ACTION TAKEN

Reviewed by Planning Commission _____ Action _____

Passed _____ Failed (State Reason) _____

Reset Form

Save As

PROJECT BENCHMARKS

BENCHMARK #1:
N: 62465.3857
E: 159981.983
ELEVATION: 462.17
DESC: PAINTED 'X' IN SIDEWALK

DATUM INFORMATION

STATE PLANE COORDINATE SYSTEM: TENNESSEE
NAV D 88
GEOID DATUM: NAD 83
GEOID MODEL: GEOID 12A

FEDERAL FLOOD NOTE

THIS PROPERTY IS LOCATED WITHIN THE
100 YEAR FLOODPLAIN AS DESIGNATED ON
CURRENT FEDERAL EMERGENCY
MANAGEMENT AGENCY MAP NO.
47169C0043C EFFECTIVE DATE 9/29/2010

DEMOLITION GENERAL NOTES

- 1. DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER ALL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE AND FUNCTIONAL.
2. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
3. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL PERMITS, AND PAY ALL FEES REQUIRED FOR THE EXECUTION OF THE WORK.
4. NOTIFY LOCAL UTILITY LOCATOR SERVICE (CALL 811) OF INTENDED DEMOLITION OPERATIONS.
5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, AND REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO CURRENT LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES. RELOCATE EXISTING IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION.
6. PROVIDE NEAT AND STRAIGHT SAWCUTS OF EXISTING PAVEMENT ALONG ALL LIMITS OF PAVEMENT DEMOLITION.
7. ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED. DISPOSE OF OFF THE OWNER'S PROPERTY IN A LEGAL MANNER. PROLONGED STORAGE OR THE SALE OF DEMOLISHED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED WITHOUT PRIOR NOTIFICATION AND CONSENT OF OWNER.
8. ALL PAVEMENT, BASE COURSE, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., IN THE AREA TO BE REMOVED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE USED AS PART OF NEW PAVEMENT CROSS-SECTION OR BUILDING SUBGRADE PROVIDED THAT THE GRADATION, CONSISTENCY, COMPACTION SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE OF AREAS TO RECEIVE PLANTING.
9. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.
10. ALL EXISTING FEATURES REMAINING AND NOT SPECIFICALLY MENTIONED THAT INTERFERE WITH THE NEW CONSTRUCTION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE PROCEEDING WITH DEMOLITION WORK.
11. IT IS NOT ANTICIPATED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED. IF MATERIALS ENCOUNTERED ARE SUSPECTED OF BEING CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, IMMEDIATELY NOTIFY THE OWNER/ENGINEER.
12. CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL STREETS, FENCES, TREES, UTILITIES AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR CAUSED DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
15. ALL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN DESIGNED TO CONTROL RAINFALL AND RUNOFF FOR A 5 YEAR, 24 HOUR STORM PER TDEC REGULATIONS.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- 1. AN EROSION PREVENTION SILTATION CONTROL PLAN (EP&SC) AND LAND DISTURBANCE PERMIT (IF REQUIRED) SHALL BE IN PLACE PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. GENERALLY CONSIDERED TO BE THROUGH THE COMPLETION OF RESTORATION, IF REQUIRED, THE EP&SC PLAN ALONG WITH AN INSPECTION CHECKLIST AND STORMWATER PERMIT MUST BE AT THE PROJECT SITE AT ALL TIMES. THE INSPECTION CHECKLIST SHALL HAVE A RECORD OF DATES EP&SC DEVICES ARE INSPECTED AND ANY CORRECTION ACTION TAKEN OR MAJOR OBSERVATIONS. BMP'S MUST BE INSPECTED BY A QUALIFIED PERSON WHO HAS TAKEN AN APPROVED EROSION AND SEDIMENTATION COURSE.
2. ALL EP&SC DEVICES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND A GOOD STAND OF GRASS HAS BEEN ESTABLISHED.
3. EROSION PREVENTION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED AT LEAST TWICE EVERY CALENDAR WEEK AT LEAST 72 HOURS APART. INSPECTIONS ARE TO BE DOCUMENTED AND KEPT WITH THE SWPPP.
4. SILT FENCE, OR OTHER SEDIMENT BARRIERS ARE TO BE INSTALLED PROPERLY ALONG TOPOGRAPHICAL CONTOURS DOWN SLOPE OF THE AREA TO BE DISTURBED PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY.
5. EXCAVATED TOPSOIL TO BE REUSED MUST BE STOCKPILED AND ENCLOSED WITH SILT FENCING.
6. THIS SITE SHALL CONTAIN A TEMPORARY STONE CONSTRUCTION ENTRANCE THAT CONFORMS TO REQUIRED SPECIFICATIONS PRIOR TO GRADING COMMENCEMENT. THE STONE SHALL BE 2 TO 3 INCH IN DIAMETER AND SHALL BE KEPT CLEAN BY ADDING STONE AS NEEDED. IT SHALL BE AT LEAST 8 INCHES DEEP UNDERLAIN WITH FILTER FABRIC AND 20 FEET WIDE.
7. APPROVED INLET PROTECTIONS FOR NEARBY STORM SEWER CURB AND DROP INLETS MUST BE INSTALLED WITHIN 24 HOURS OF GRADING COMMENCEMENT.
8. STABILIZATION MEASURES MUST BE PERFORMED WITH SEVEN (7) DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING.
9. ALL TREES DESIGNATED TO REMAIN, MUST BE PROTECTED. HEAVY EQUIPMENT SHOULD NOT BE OPERATED OR STORED, NOR MATERIALS HANDLED OR STORED, WITHIN THE DRIP LINES OF TREES.
10. SEDIMENT MUST BE REMOVED FROM SEDIMENT BARRIERS, PONDS, AND OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 33%.
11. SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN THE STREET OR DRAINAGE STRUCTURES MUST IMMEDIATELY BE PHYSICALLY REMOVED.
12. BUILDING AND WASTE MATERIALS, AND NON STORM WATER DISCHARGES, SUCH AS CONCRETE, PAINT WASH WATER, OR MACHINERY LEAKAGE, OR SPILLAGE MUST BE MANAGED TO PREVENT THEM FROM ENTERING THE STORM WATER SYSTEM, GROUND WATER, OR NEARBY WATER BODY.
13. THE PROJECT IS SUBJECT TO INSPECTION BY THE CITY AT ANY TIME AND ITEMS FOUND DEFICIENT SHALL BE IMMEDIATELY CORRECTED. THE CITY MAY STOP CONSTRUCTION OR PROPERTIES, OR ADMINISTER OTHER ENFORCEMENT ACTIONS AS DEFINED BY THE CITY.

SITE UTILITIES GENERAL NOTES

- 1. WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, GIVE ALL NECESSARY NOTIFICATIONS, OBTAIN ALL PERMITS, AND PAY ALL FEES PRIOR TO BEGINNING UTILITY WORK.
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, AND REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO CURRENT LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. RELOCATE IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
4. NOTIFY THE LOCAL UTILITY LOCATOR SERVICE (CALL 811) AND ANY NON ONE CALL SYSTEM MEMBER UTILITY INDIVIDUALLY AT LEAST 3 WORKING DAYS PRIOR TO ANY EXCAVATION/UTILITY TRENCHING OPERATIONS.
5. MAINTAIN 10-FOOT HORIZONTAL AND 18-INCH VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER SUPPLY LINES.
6. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES INCLUDING IRRIGATION. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN AND REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO CURRENT LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. RELOCATE IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO FINAL PAVEMENT CONSTRUCTION.
8. BACKFILL UTILITY TRENCHES UNDER PAVEMENT OR GRAVEL DRIVE AREAS WITH CRUSHED STONE. BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL COMPACTED TO AT LEAST 98% OF MAXIMUM PER ASTM D698 - STANDARD PROCTOR.
9. ADJUST ALL EXISTING-TO-REMAIN UTILITY SURFACE FEATURES, INCLUDING BUT NOT LIMITED TO CASTINGS, VALVE BOXES, PEDESTALS, CLEANOUTS, ETC. TO MATCH FINISH GRADE.
10. CONTRACTOR SHALL MAINTAIN AT LEAST ONE SET OF AS-BUILT PLANS SHOWING ALL NEWLY CONSTRUCTED UTILITIES AND EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION EITHER BY FIELD SURVEYS ON THE APPROPRIATE STATE PLANE COORDINATE SYSTEM (TN-NAD83) USED FOR THIS PROJECT OR BY FIELD MEASUREMENTS INCLUDING AT LEAST TWO DIMENSIONS FROM KNOWN SITE FEATURES/MONUMENTS TO EACH MANHOLE, CATCH BASIN, AND PRESSURE PIPING APPURTENANCE (VALVES, METERS, METERS, BACKFLOW DEVICE, HYDRANTS, ETC.)
11. ALL APPLICABLE WATER AND SEWER CAPACITY, TAP, AND STORM WATER FEES MUST BE PAID PRIOR TO ISSUANCE OF A BUILDING PERMIT AND/OR GRADING PERMIT.
12. RPBP DEVICES(S) SHALL HAVE A PASSING INSPECTION AND BACKFLOW TEST PERFORMED BY THE LOCAL UTILITY DISTRICT. DDCV ASSEMBLIES AND DC BYPASS DEVICES ARE TO BE TESTED BY A LICENSED FIRE SPRINKLER COMPANY (CERTIFIED BY TDEC TO TEST BACKFLOW DEVICES) AND THE TEST REPORT SUPPLIED TO THE APPROPRIATE CONTACT. ALL DEVICES MUST PASS INSPECTION AND TESTS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. FAILURE TO COMPLY MAY ALSO RESULT IN TERMINATION OF WATER SERVICE(S) TO THE PREMISES.

GRADING NOTES

- 1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, GIVE ALL NECESSARY NOTIFICATIONS, OBTAIN ALL PERMITS, AND PAY ALL FEES PRIOR TO BEGINNING GRADING AND DRAINAGE WORK.
2. CONTRACTOR TO NOTIFY TENNESSEE ONE CALL (CALL 811) A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION/UTILITY TRENCHING OPERATIONS.
3. INSTALL TEMPORARY EROSION CONTROL AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS.
4. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO BEGINNING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
5. TOP OF CASTING ELEVATIONS FOR CURB INLETS ARE GIVEN TO THE CENTER OF THE INLETS AT THE FACE OF CURB. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADE. ADJUST THE CASTING TO FALL ALONG THE CURB LINE.
6. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND PROTECT UTILITIES TO REMAIN.
7. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR UNFORESEEN CONDITIONS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
8. CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS TO POSITIVELY DRAIN. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THIS INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED PRIOR TO BEGINNING WORK.
9. ALL PERMANENT CUT AND FILL SLOPES SHALL BE 3:1 MAXIMUM. TEMPORARY CUT SLOPES SHALL NOT EXCEED 2:1 MAXIMUM UNLESS TEMPORARY SHORING IS PROVIDED OR UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER.
10. ALL CURBS AND SIDEWALKS SHALL BE BACKFILLED FLUSH WITH TOPSOIL, WHICH SHALL BE SEEDED AND MULCHED.
11. ADA PARKING AND LOADING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION. ADA ACCESS ROUTES SHALL NOT EXCEED 2% CROSS SLOPE, 5% LONGITUDINAL SLOPE, EXCEPT WHERE ADA RAMPS ARE SPECIFIED.

LAYOUT AND PAVING GENERAL NOTES

- 1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, GIVE ALL NECESSARY NOTIFICATIONS, OBTAIN ALL PERMITS, AND PAY ALL FEES PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING WORK.
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, AND REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO CURRENT LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. RELOCATE IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION AT THE CONTRACTORS EXPENSE.
4. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
5. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
6. CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE 4,000 P.S.I. UNLESS OTHERWISE NOTED. CURB RAMPS, SIDEWALK SLOPES, AND DRIVEWAY RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS PRIOR TO PLACEMENT OF CONCRETE.
7. DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
8. COORDINATES ARE FOR FACE OF BUILDINGS, CENTER LINES OF DRIVEWAYS, CENTER OF SEWER MANHOLES, AND CENTER AT FACE OF CURB ON CURB INLETS, UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL OFF THE OWNER'S PROPERTY IN A LEGAL MANNER AT THE CONTRACTOR'S EXPENSE.
10. MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION.
11. PARKING STRIPES SHALL BE 4-INCH WHITE PAVEMENT PAINT, UNLESS OTHERWISE NOTED ON PLANS.
12. CONSTRUCTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS AND SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10' SEGMENTS.
13. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY CONSISTING OF THE FOLLOWING:
A. AN AS-BUILT SURVEY SHALL BE PREPARED, SIGNED, AND SEALED BY A SURVEYOR REGISTERED IN THE STATE IN WHICH THIS PROJECT RESIDES AND SUBMITTED TO THE ARCHITECT/ENGINEER IN HARD COPY AND ELECTRONIC FORMAT PRIOR TO COMPLETION OF THIS PROJECT. THE AS-BUILT SURVEY SHALL BE PREPARED USING THE SAME HORIZONTAL AND VERTICAL DATUM AS THE ORIGINAL SURVEY.
B. THE AS-BUILT SURVEY SHALL DEPICT ALL BUILDINGS, CURB LINES, EDGES OF PAVEMENT, SIDEWALKS, AND PARKING.
C. THE AS-BUILT SURVEY SHALL LOCATE ALL UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE PROJECT INCLUDING: GREASE TRAP, OIL/WATER SEPARATOR, DRAINAGE AND SANITARY STRUCTURES, WATER VALVES, METERS, PIV'S, AND HYDRANTS.
D. THE AS-BUILT SURVEY SHALL INCLUDE ALL ACCESSIBLE PATHS, PEDESTRIAN RAMPS AND LANDINGS, AND ACCESSIBLE PARKING AREAS INCLUDING AISLES AND DROP-OFF/PICK-UP AREAS. DIMENSION FULL LENGTH AND WIDTH OF ALL PEDESTRIAN RAMPS AND LANDINGS. SHOW ELEVATIONS AND SLOPES, INCLUDING LONGITUDINAL AND CROSS SLOPES FOR ALL ACCESSIBLE AREAS. THE ARCHITECT/ENGINEER WILL USE THIS SURVEY TO CHECK COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.
E. THE AS-BUILT SURVEY SHALL INCLUDE ALL STORMWATER MANAGEMENT FEATURES, INCLUDING BUT NOT LIMITED TO: PONDS, BIOSWALES, RAIN GARDENS, WATER QUALITY UNITS, AND OUTLET STRUCTURES.
14. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ARCHITECT/ENGINEER WITH A CONSTRUCTION SCHEDULE FOR VARIOUS SITEWORK ELEMENTS SO THAT PERIODIC SITE VISITS MAY BE COORDINATED TO ALLOW TIMELY CERTIFICATION OF CONSTRUCTION TO AGENCIES, AND TO AVOID DELAYS IN ISSUANCE OF CERTIFICATES OF OCCUPANCIES.
15. STORMWATER INFRASTRUCTURE CERTIFICATION AND AS-BUILTS ARE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. REFER TO APPENDIX A OF THE CITY OF LEBANON'S STORMWATER MANAGEMENT MANUAL FOR SUBMITTAL REQUIREMENTS.
16. THE OWNER ACKNOWLEDGES THAT LANDSCAPING IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF LEBANON'S RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF LEBANON, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY MAY AT ANY TIME AND FOR ANY REASON PERFORM WORK WITHIN THE DEDICATED EASEMENT. THE CITY, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPING IN THE EASEMENTS WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPING TO ENABLE WORK TO BE DONE. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COSTS INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPING.

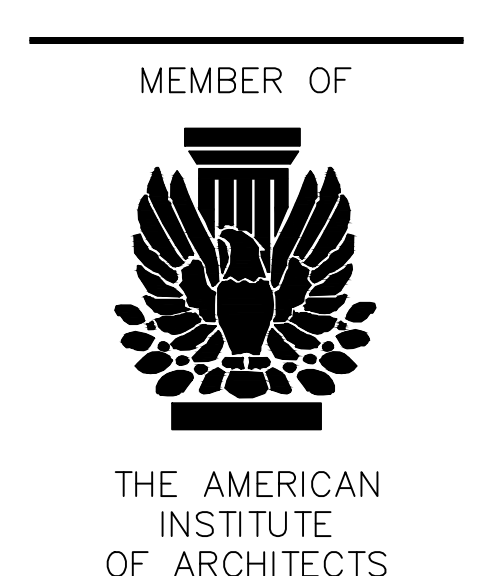
Site Data Table
Project Name: Trousdale County Schools Athletic Field House
Project Number: 231001.03
Tax Map and Parcel: Map 27C Group A Parcel 007.00
Address: 200 E. Main Street, Hartsville, TN 37074
Existing Zoning: R-1, Low Density Residential
Site Acreage: 16.00 Acres
Site Square Footage: 696,960 SQ. FT.
Minimum Setbacks: Front Yard: 30 ft, Side Yard: 15 ft, Rear Yard: 25 ft
Owner: Trousdale County Schools
Address: 103 Lock Six Road, Hartsville, TN 37074
Phone Number: (615) 374-2193
Email Address: clintsatterfield@tcsschools.org
Contact Name: Dr. Clint Satterfield
Applicant/Owner Representative: CTC Design Collaborative, LLC
Address: 4336 Lebanon Road, Box 363, Nashville, TN 37076
Phone Number: (615) 499-1756
Email Address: jcheney-ctc@outlook.com
Contact Name: John Cheney
Proposed Building Information: Building Square Footage: Existing Buildings: 7,571 sq.ft., Existing Stadium: 17,751 sq.ft., Proposed: 7,756 sq.ft., Total Increase: 7,756 sq.ft.
Type of Activity Proposed: Educational - Athletic
Proposed Building Height: 19'-6" (low side) - 32'-0" (high side)
Maximum F.A.R. Allowed: 40 % (278,784 SF)
F.A.R. of Site Proposed: 2.2% (15,327 SF)
Maximum I.S.R. Allowed: NA
I.S.R. of Site Proposed: NA
Maximum Lot Coverage by All Buildings: 40% (278,784 SF)
Proposed Lot Coverage by All Buildings: 2.2% (15,327 SF)
Lot Width:
Site Information: Total Acreage: 16.00 acres, Ex. Building Impervious: 0.06 acres, Ex. Site Impervious: 0.82 acres, Total Existing Impervious: 0.88 acres, Proposed Impervious: 1.66 acres, Net Impervious: 0.26 acres, Disturbed Area: 1.34 acres
Parking Information: Total Existing Parking: 25, Total Proposed Parking: 76 (76 required/includes 4 ADA), Total Net Parking: 51 increase
Parking Requirements: Minimum Parking Requirements: 1 space per 200 sf of building, 15327 SF/200=76 spaces required
Parking Provided: 76 includes 4 ADA spaces

LEGEND

- NON MONUMENTED POINT
IRON ROD (OLD)
POWER POLE
OVERHEAD POWER LINE
OVERHEAD SERVICE LINE
OVERHEAD COLD SPEAKER WIRE
COLD WIRE
FENCE
WATER METER
FIRE HYDRANT
WATER VALVE
WATER LINE
SPRINKLER HEAD
REGISTER'S OFFICE FOR TROUSDALE COUNTY, TN
REINFORCED CONCRETE PIPE
CORROGATED METAL PIPE
CATCH BASIN
STORM GRATE
SANITARY SEWER LINE
SANITARY SEWER MANHOLE
GAS LINE
CLEAN OUT
SOL PIERING
GAS PIPE
GAS METER
ELECTRIC METER
SPRINKLER LIGHT
ASPHALT
CONCRETE
GRAVEL

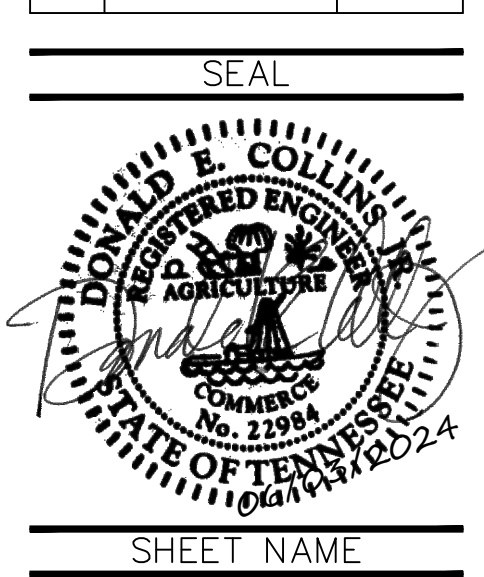
CTC DESIGN COLLABORATIVE, LLC
Improving Local Communities
o limited liability company
46.36 LEBANON PIKE, #363
HERMITAGE, TN 37076
O: 615 - 499 - 1756
QUALITY DESIGNS THAT INSPIRE
PROJECT:

A NEW PROJECT FOR :
TROUSDALE COUNTY HIGH SCHOOL
NEW FIELD HOUSE



MEMBER OF
THE AMERICAN INSTITUTE OF ARCHITECTS
PROJ. ARCH: COLLAQI
DRAWN BY: A.L
CHECKED BY: J.C
PROJ. NO- 23-006.01
DATE: JUNE 3, 2024

REVISIONS
DATE:
NO. DESCRIPTION DATE
1 SPM COMMENTS 07/03/24



SHEET NAME
PROJECT NOTES
SHEET NUMBER
C1 01
TFM # 21390
811 Know what's below. Call before you dig.

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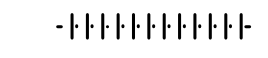
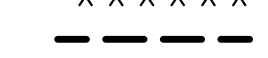

PROJECT BENCHMARKS

BENCHMARK #1:
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E: 15981.583
ELEVATION: 462.17
DESC: PAINTED 'X' IN SIDEWALK

DATUM INFORMATION

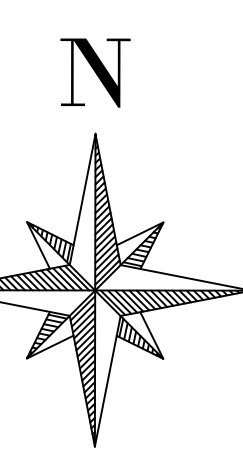
STATE PLANE COORDINATE SYSTEM: TENNESSEE
VERTICAL DATUM: NAVD 88
GEODETIC DATUM: NAD 83
GEOID MODEL: GEOID 12A

DEMOLITION LEGEND

-  ASPHALT PAVEMENT DEMOLITION
-  EXISTING BUILDING DEMOLITION
-  EXISTING FENCE DEMOLITION
-  EXISTING UTILITY DEMOLITION/SLURRY FILL
-  APPROXIMATE LIMITS OF DISTURBANCE

FEDERAL FLOOD NOTE

THIS PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOODPLAIN AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47169C0043C EFFECTIVE DATE 9/29/2010



SEE ADDENDUM #1 FOR INSTRUCTIONS CONCERNING ALTERNATE DEDUCT FOR ASPHALT MILLING AND REMOVAL BID ITEMS

TAX MAP 27C GROUP A PARCEL 1
JACK CAREY
DEED BOOK 2, PAGE 270
R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 21
HARTSVILLE / TROUSDALE
COUNTY GOVERNMENT
RECORD BOOK 158, PAGE 197
R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 20
CLINTON HOBBS
DEED BOOK 68, PAGE 390
R.O.T.C.T.

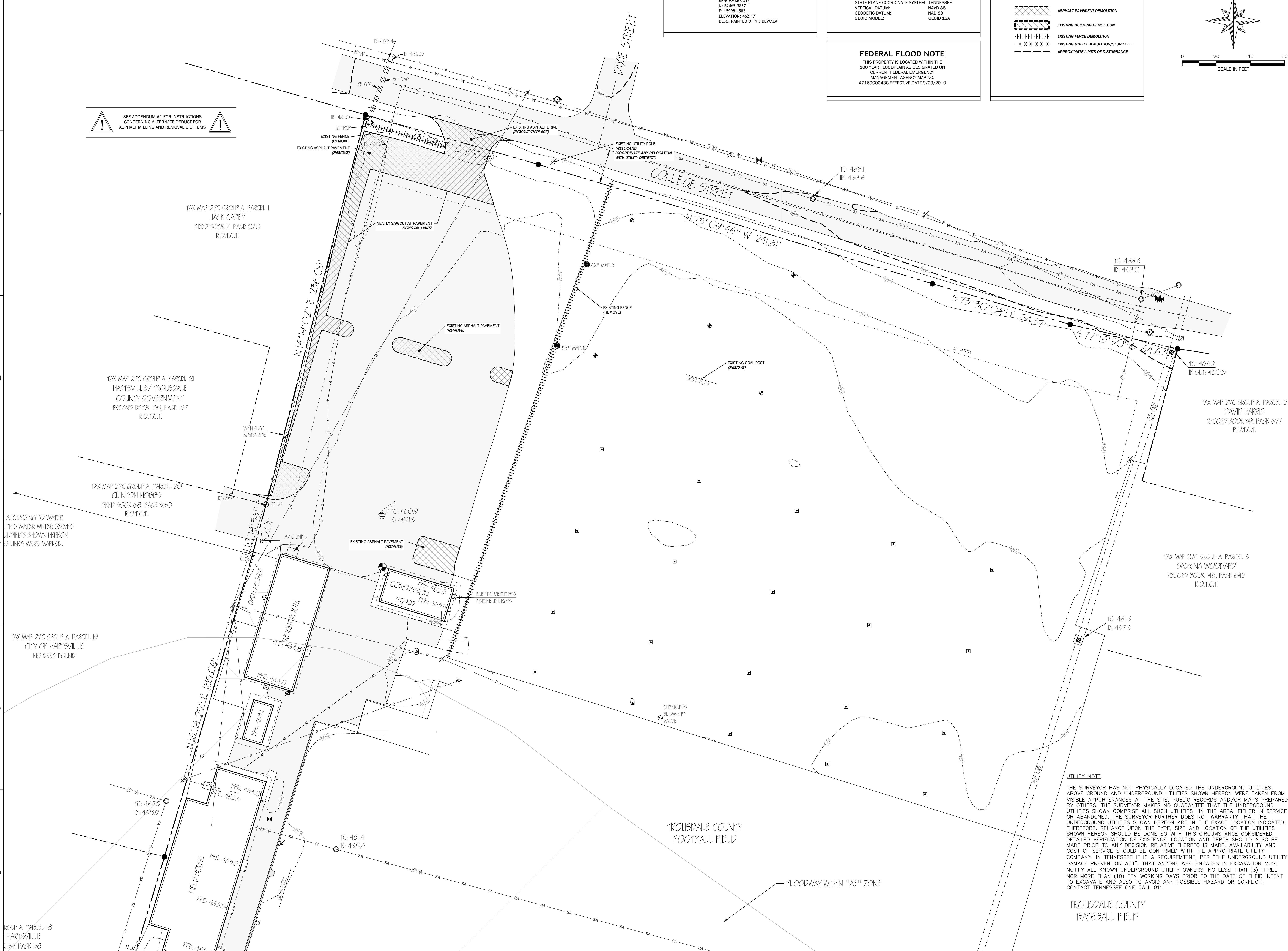
ACCORDING TO WATER
THIS WATER METER SERVES
BUILDINGS SHOWN HEREON.
O LINES WERE MARKED.

TAX MAP 27C GROUP A PARCEL 19
CITY OF HARTSVILLE
NO DEED FOUND

GROUP A PARCEL 18
HARTSVILLE
SA, PAGE 98
R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 2
DAVID HARRIS
RECORD BOOK 59, PAGE 677
R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 3
SABRINA WOODARD
RECORD BOOK 145, PAGE 642
R.O.T.C.T.



UTILITY NOTE
THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES ABOVE GROUND AND UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF THE UTILITIES SHOWN HEREON SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE NOR MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. CONTACT TENNESSEE ONE CALL 811.

CTC DESIGN COLLABORATIVE LLC
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4636 LEBANON PIKE, #363
HERMITAGE, TN 37076
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QUALITY DESIGNS THAT INSPIRE
PROJECT:

A NEW PROJECT FOR :
**TROUSDALE COUNTY HIGH SCHOOL
NEW FIELD HOUSE**



MEMBER OF
THE AMERICAN INSTITUTE OF ARCHITECTS

PROJ. ARCH: COLLAQI
DRAWN BY: A.L.
CHECKED BY: J.C.
PROJ. NO- 23-006.01
DATE: JUNE 3, 2024
REVISIONS

NO.	DESCRIPTION	DATE
1	SFM COMMENTS	07/03/24

SHEET NAME
EXISTING CONDITIONS AND DEMOLITION PLAN

SHEET NUMBER
C2 01
TFM # 21390

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PROJECT BENCHMARKS

BENCHMARK #1:
N: 6246.3857
E: 19961.583
ELEVATION: 462.17
DESC: PAINTED 'X' IN SIDEWALK

DATUM INFORMATION

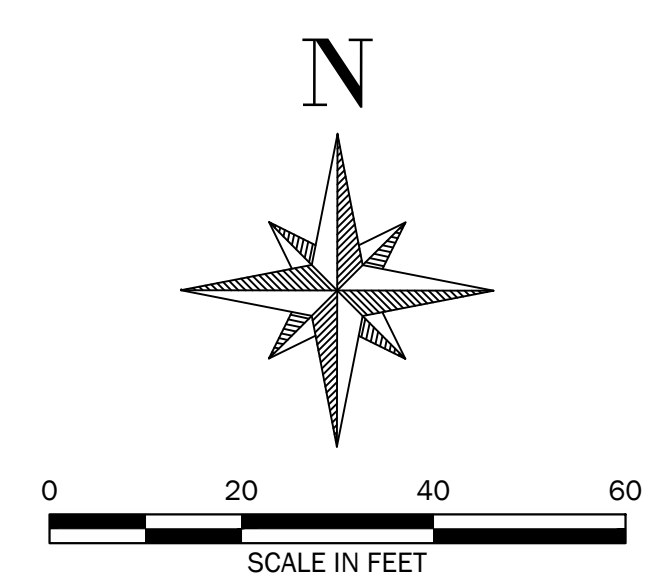
STATE PLANE COORDINATE SYSTEM: TENNESSEE
VERTICAL DATUM: NAVD 88
GEOID DATUM: NAD 83
GEOID 12A

FEDERAL FLOOD NOTE

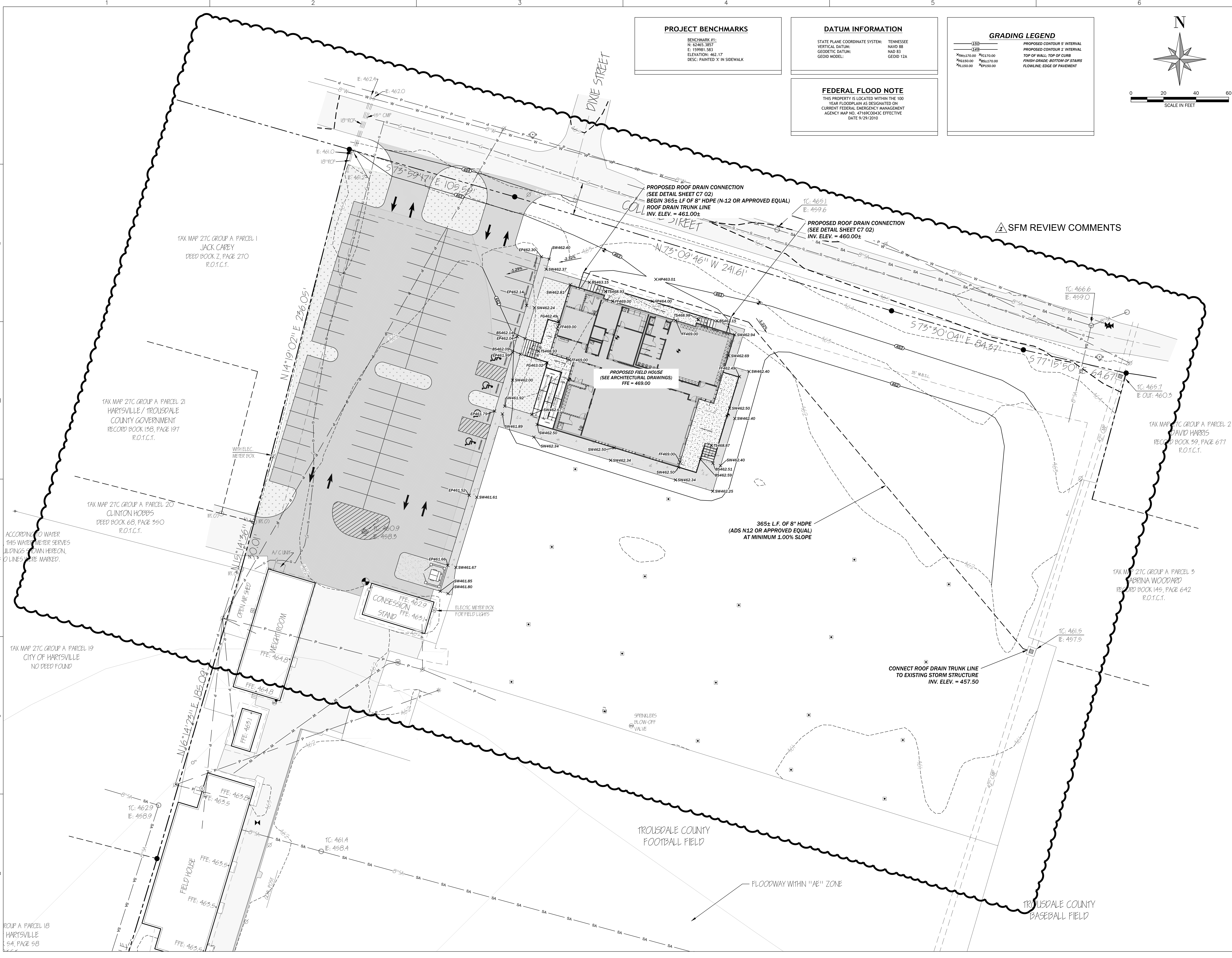
THIS PROPERTY IS LOCATED WITHIN THE 100
YEAR FLOODPLAIN AS DESIGNATED ON
CURRENT FEDERAL EMERGENCY MANAGEMENT
AGENCY MAP NO. 47169C0043C EFFECTIVE
DATE 9/29/2010

GRADING LEGEND

PROPOSED CONTOUR 5' INTERVAL
PROPOSED CONTOUR 2' INTERVAL
TOP OF WALL, TOP OF CURB
FINISH GRADE, BOTTOM OF STAIRS
FLOWLINE, EDGE OF PAVEMENT



CTC DESIGN COLLABORATIVE LLC
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QUALITY DESIGNS THAT INSPIRE
PROJECT:



TAX MAP 27C GROUP A PARCEL 1
JACK CAREY
DEED BOOK 2, PAGE 270
R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 21
HARTSVILLE / TROUSDALE
COUNTY GOVERNMENT
RECORD BOOK 158, PAGE 197
R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 20
CLINTON HOBBS
DEED BOOK 68, PAGE 350
R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 19
CITY OF HARTSVILLE
NO DEED FOUND

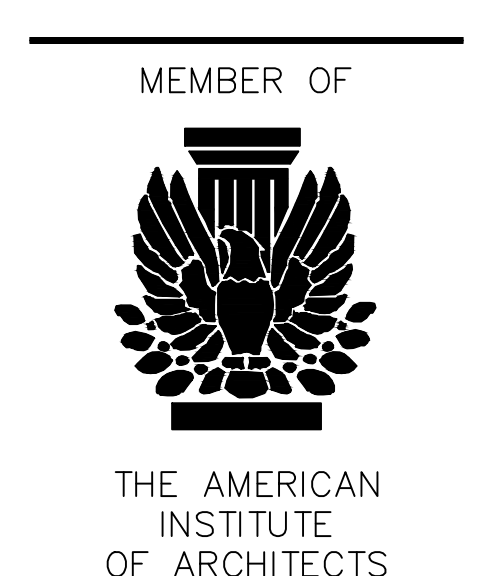
GROUP A PARCEL 18
HARTSVILLE
SA, PAGE 98

TAX MAP 27C GROUP A PARCEL 2
DAVID HARRIS
RECORD BOOK 39, PAGE 677
R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 3
ABRINA WOODARD
RECORD BOOK 145, PAGE 642
R.O.T.C.T.

SFM REVIEW COMMENTS

A NEW PROJECT FOR :
TROUSDALE COUNTY HIGH SCHOOL
NEW FIELD HOUSE



MEMBER OF
THE AMERICAN
INSTITUTE
OF ARCHITECTS

PROJ. ARCH: COLLAQI
DRAWN BY: A.L
CHECKED BY: J.C
PROJ. NO: 23-006.01
DATE: JUNE 3, 2024

REVISIONS

NO.	DESCRIPTION	DATE
1	SFM COMMENTS	07/03/24

SEAL
SHEET NAME
GRADING AND
DRAINAGE PLAN
SHEET NUMBER
C4 01
TFM # 21390

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Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Earthwork	1.000	1.000	37129.64 Sq. Ft.	268.29 Cu. Yd.	216.26 Cu. Yd.	52.03 Cu. Yd.<Cut>
Totals			37129.64 Sq. Ft.	268.29 Cu. Yd.	216.26 Cu. Yd.	52.03 Cu. Yd.<Cut>

PROJECT BENCHMARKS

BENCHMARK #1:
 N: 6246.3857
 E: 19981.383
 ELEVATION: 462.17
 DESC: PAINTED 'X' IN SIDEWALK

DATUM INFORMATION

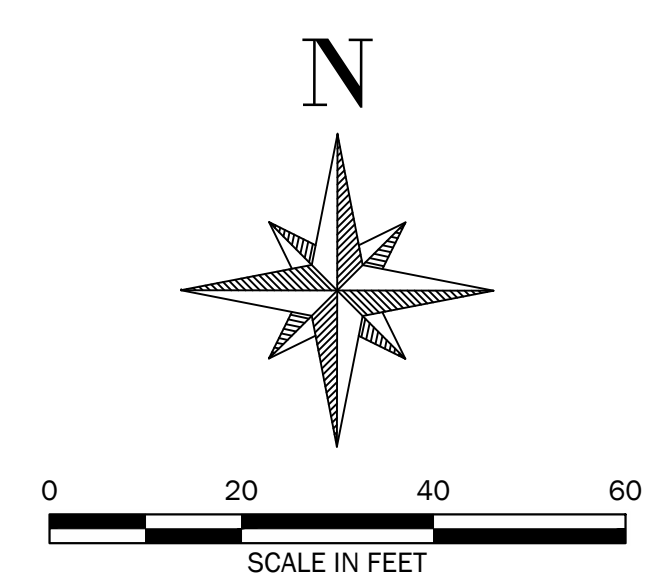
STATE PLANE COORDINATE SYSTEM: TENNESSEE
 VERTICAL DATUM: NAVD 88
 GEODETIC DATUM: NAD 83
 GEOID MODEL: GEOID 12A

FEDERAL FLOOD NOTE

THIS PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOODPLAIN AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47169C0043C EFFECTIVE DATE 9/29/2010

Cut/Fill Diagram

Number	Minimum Elevation	Maximum Elevation	Color
1	-1.5' CUT	-1.0' CUT	Red
2	-1.0' CUT	-0.5' CUT	Orange
3	-0.5' CUT	0.0'	Yellow
4	0.0'	0.5' FILL	Light Green
5	0.5' FILL	1.0' FILL	Medium Green
6	1.0' FILL	2.0' FILL	Dark Green



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 a limited liability company
 4636 LEBANON PIKE, #363
 HERMITAGE, TN 37076
 O: 615 - 499 - 1756
 QUALITY DESIGNS THAT INSPIRE PROJECT:



TAX MAP 27C GROUP A PARCEL 1
 JACK CAREY
 DEED BOOK 2, PAGE 270
 R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 21
 HARTSVILLE / TROUSDALE
 COUNTY GOVERNMENT
 RECORD BOOK 138, PAGE 197
 R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 20
 CLINTON HOBBS
 DEED BOOK 68, PAGE 350
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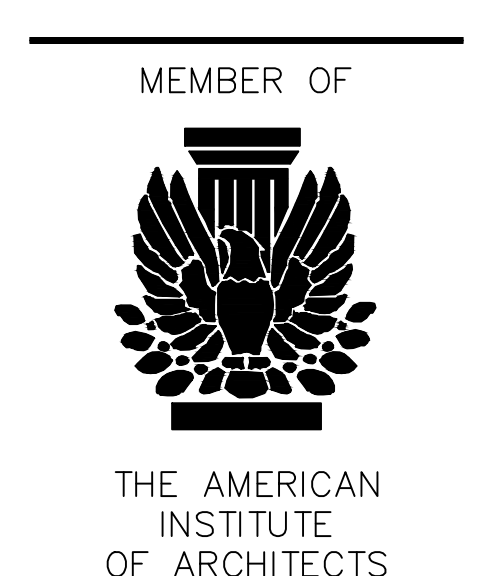
TAX MAP 27C GROUP A PARCEL 19
 CITY OF HARTSVILLE
 NO DEED FOUND

TAX MAP 27C GROUP A PARCEL 2
 DAVID HARRIS
 RECORD BOOK 39, PAGE 677
 R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 3
 SABRINA WOODARD
 RECORD BOOK 145, PAGE 642
 R.O.T.C.T.

- PROJECT NOTES:**
- EXISTING TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY TTL, INC. IN 2019. EXISTING CONTOURS, GROUND COVER, AND OTHER SITE ELEMENTS SHOWN ON THIS PLAN MAY NO LONGER BE ACCURATE. USERS OF THIS INFORMATION DO SO AT THEIR OWN RISK.
 - USERS OF THE INFORMATION ON THIS SHEET UNDERSTAND CUT/FILL EARTHWORK QUANTITIES ARE PROVIDED AS AN ESTIMATE. ONLY EARTHWORK QUANTITIES ARE STRICTLY MEASURED FROM EXISTING GRADE (SEE NOTE 1 ABOVE) TO PROPOSED GRADE. THESE QUANTITIES DO NOT TAKE INTO ACCOUNT GEOTECHNICAL FACTORS SUCH AS: ROCK EXCAVATION, UNDERCUT, UNSUITABLE MATERIALS, TOPSOIL REMOVAL, ETC. USERS OF THIS INFORMATION DO SO AT THEIR OWN RISK.

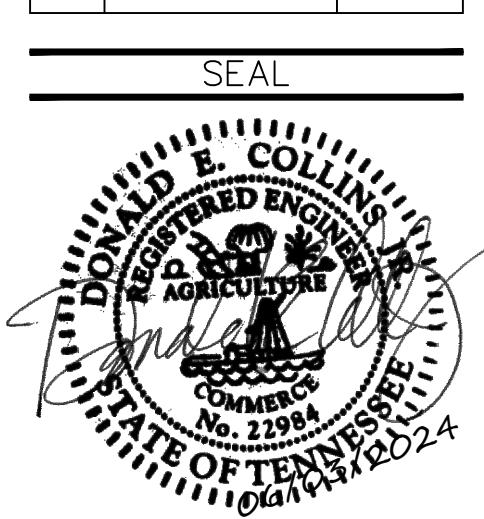
A NEW PROJECT FOR :
TROUSDALE COUNTY HIGH SCHOOL
NEW FIELD HOUSE



MEMBER OF
 THE AMERICAN
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 OF ARCHITECTS

PROJ. ARCH: COLLAQI
 DRAWN BY: A.L.
 CHECKED BY: J.C.
 PROJ. NO- 23-006.01
 DATE: JUNE 3, 2024

NO.	DESCRIPTION	DATE
1	SPM COMMENTS	07/03/24



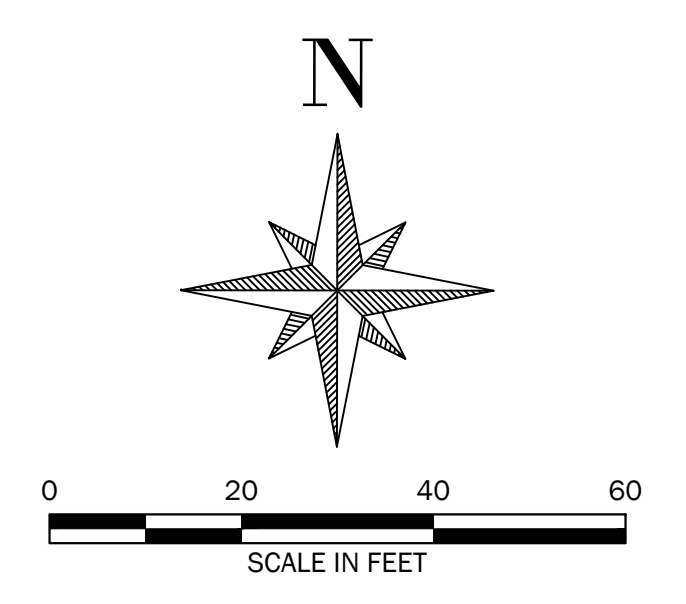
SHEET NAME
 EARTHWORK
 EXHIBIT
 SHEET NUMBER
C4 02
TFM # 21390

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<p>PROJECT BENCHMARKS</p> <p>BENCHMARK #1: N: 62465.3857 E: 159981.583 ELEVATION: 462.17 DESC: PAINTED 'X' IN SIDEWALK</p>	<p>DISTURBED AREA 58,191 SQ. FT. (1.33 ACRES)</p> <p>NEW IMPERVIOUS AREA 11,196 SQ. FT. (0.26 ACRES)</p>
---	--

<p>DATUM INFORMATION</p> <p>STATE PLANE COORDINATE SYSTEM: TENNESSEE VERTICAL DATUM: NAVD 88 GEOID DATUM: NAD 83 GEOID MODEL: GEOID 12A</p>	<p>FEDERAL FLOOD NOTE</p> <p>THIS PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOODPLAIN AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47169C0043C EFFECTIVE DATE 9/29/2010</p>
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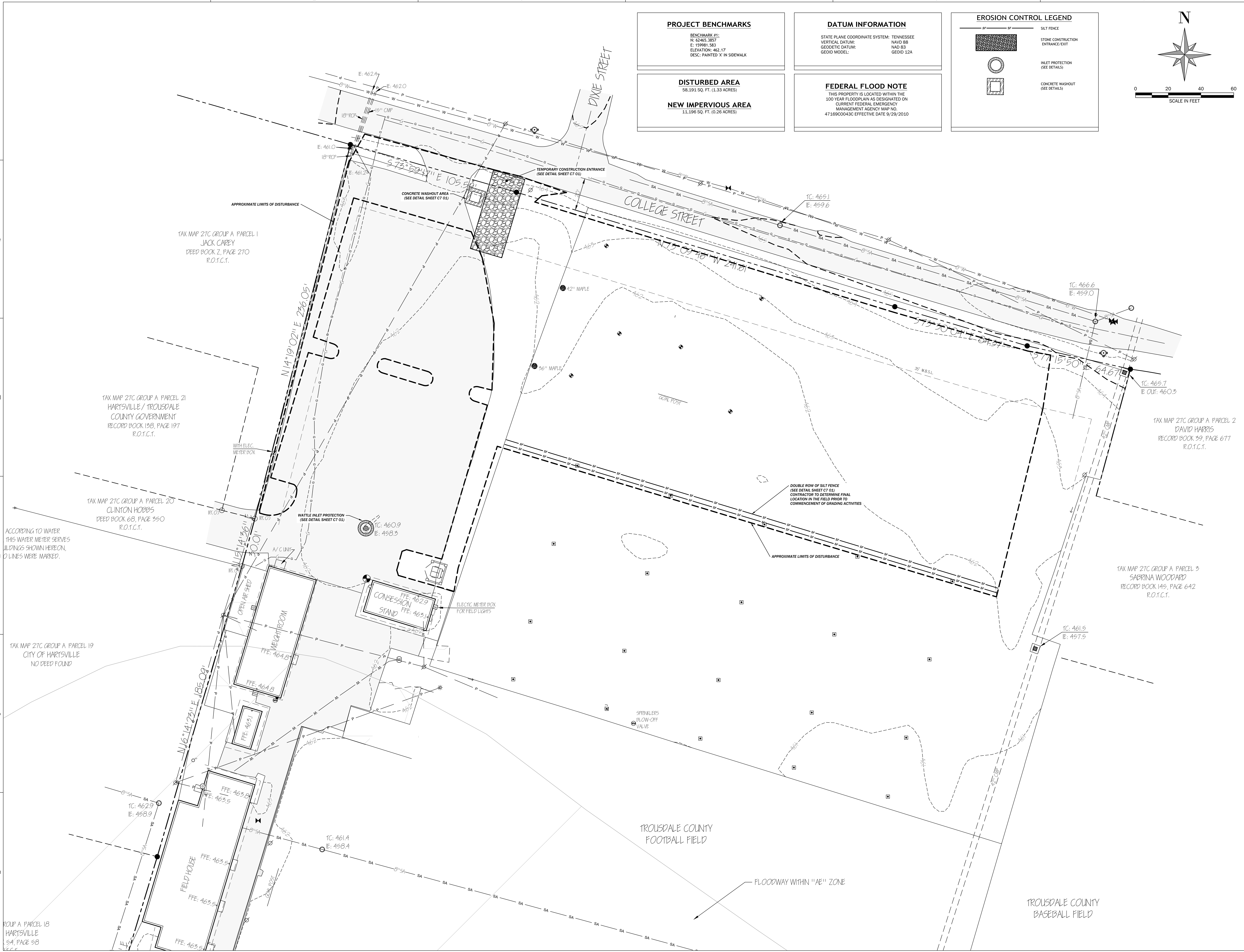
EROSION CONTROL LEGEND	
	SILT FENCE
	STONE CONSTRUCTION ENTRANCE/EXIT
	INLET PROTECTION (SEE DETAILS)
	CONCRETE WASHOUT (SEE DETAILS)



CTC DESIGN COLLABORATIVE LLC
Improving Local Communities

a limited liability company
4636 LEBANON PIKE, #363
HERMITAGE, TN 37076
O: 615 - 499 - 1756

QUALITY DESIGNS THAT INSPIRE PROJECT:



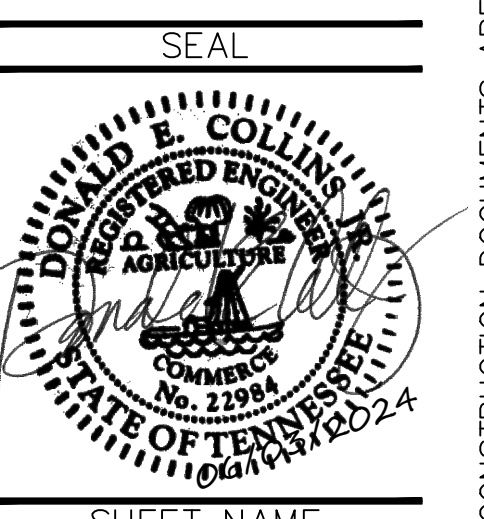
A NEW PROJECT FOR :

TROUSDALE COUNTY HIGH SCHOOL
NEW FIELD HOUSE



PROJ. ARCH: COLLAQI
DRAWN BY: A.L.
CHECKED BY: J.C.
PROJ. NO - 23-006.01
DATE: JUNE 3, 2024

NO.	DESCRIPTION	DATE
1	SPM COMMENTS	07/03/24



SHEET NAME
INITIAL EPSC PLAN
SHEET NUMBER
C6 01
TFM # 21390

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PROJECT BENCHMARKS

BENCHMARK #1:
N: 6246.3857
E: 19981.983
ELEVATION: 462.17
DESC: PAINTED 'X' IN SIDEWALK

DATUM INFORMATION

STATE PLANE COORDINATE SYSTEM: TENNESSEE
VERTICAL DATUM: NAVD 88
GEOID DATUM: NAD 83
GEOID MODEL: GEOID 12A

DISTURBED AREA

58,191 SQ. FT. (1.33 ACRES)

NEW IMPERVIOUS AREA

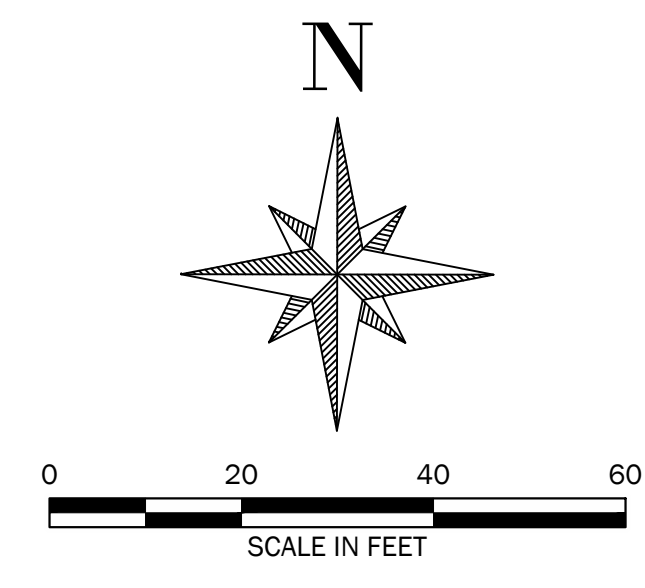
11,196 SQ. FT. (0.26 ACRES)

FEDERAL FLOOD NOTE

THIS PROPERTY IS LOCATED WITHIN THE
100 YEAR FLOODPLAIN AS DESIGNATED ON
CURRENT FEDERAL EMERGENCY
MANAGEMENT AGENCY MAP NO.
47169C0043C EFFECTIVE DATE 9/29/2010

EROSION CONTROL LEGEND

- SILT FENCE
- STONE CONSTRUCTION ENTRANCE/EXIT
- INLET PROTECTION (SEE DETAILS)
- CONCRETE WASHOUT (SEE DETAILS)



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HERMITAGE, TN 37076
O: 615 - 499 - 1756

QUALITY DESIGNS • THAT INSPIRE

PROJECT:

A NEW PROJECT FOR :

TROUSDALE COUNTY HIGH SCHOOL

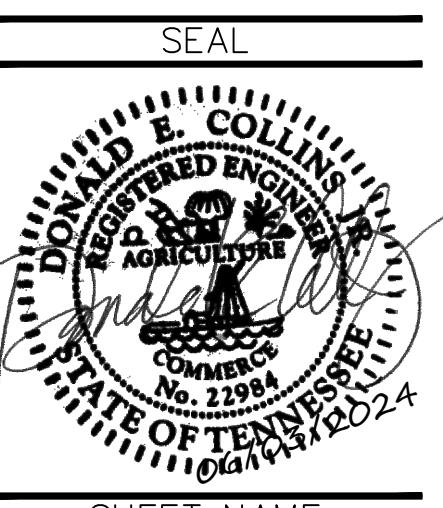
NEW FIELD HOUSE



PROJ. ARCH: COLLAQI
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REVISIONS

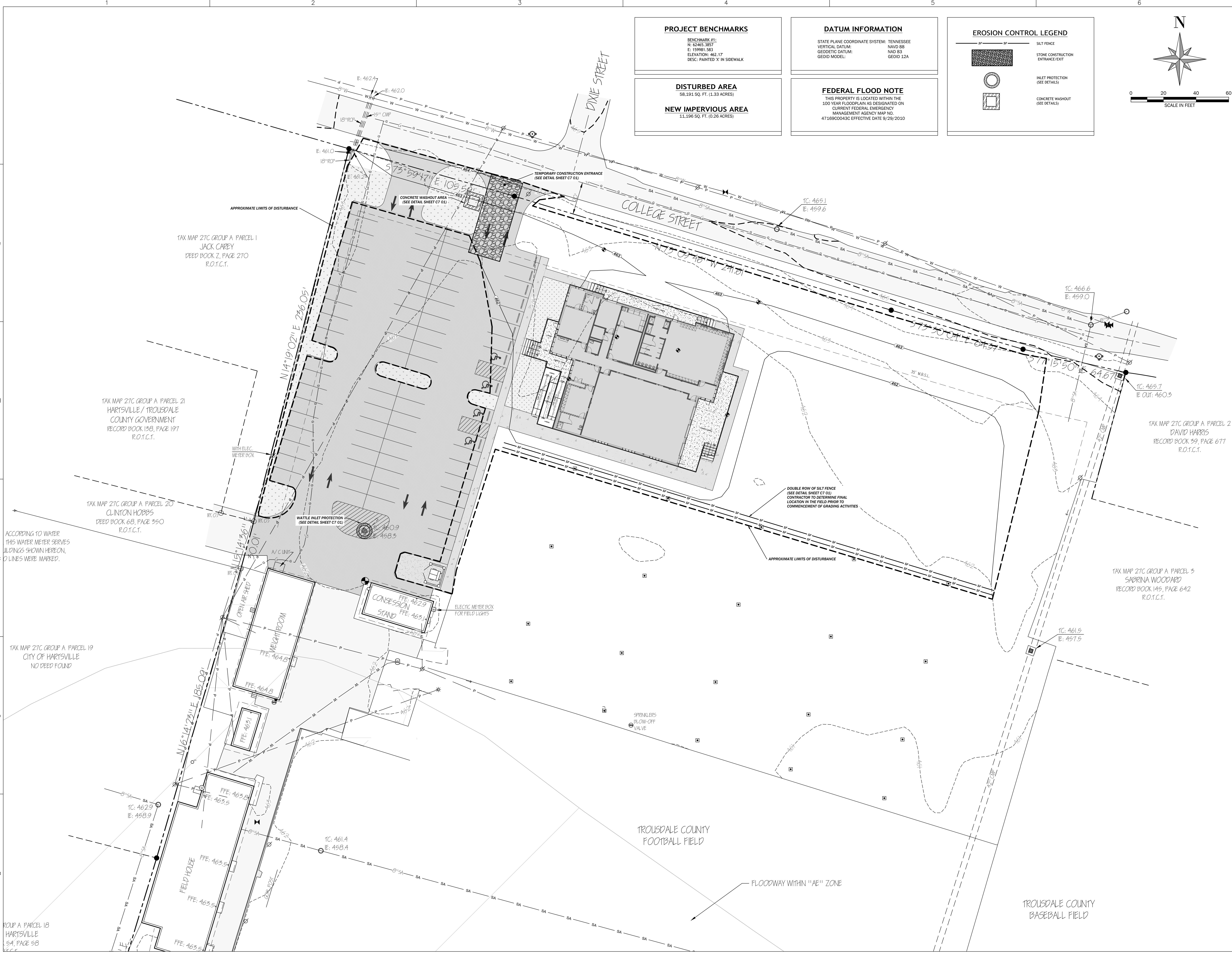
NO.	DESCRIPTION	DATE
1	SPM COMMENTS	07/03/24



SHEET NAME
INTERMEDIATE EPSC PLAN

SHEET NUMBER
C6 02

TFM # 21390

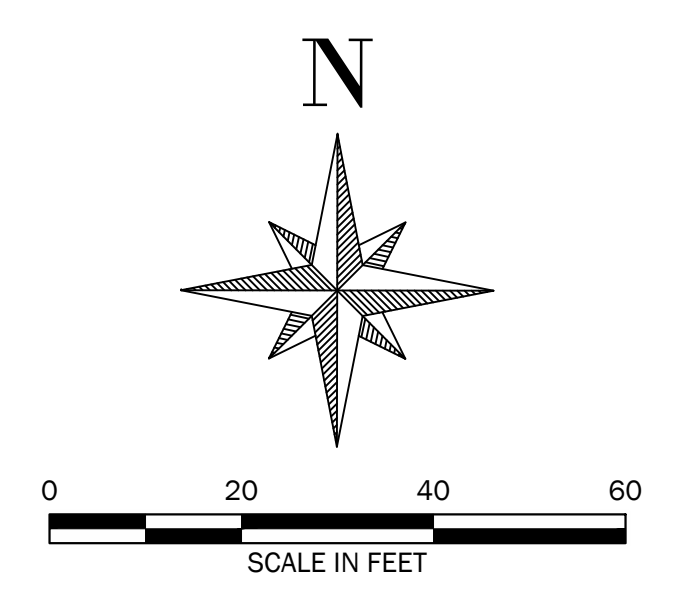


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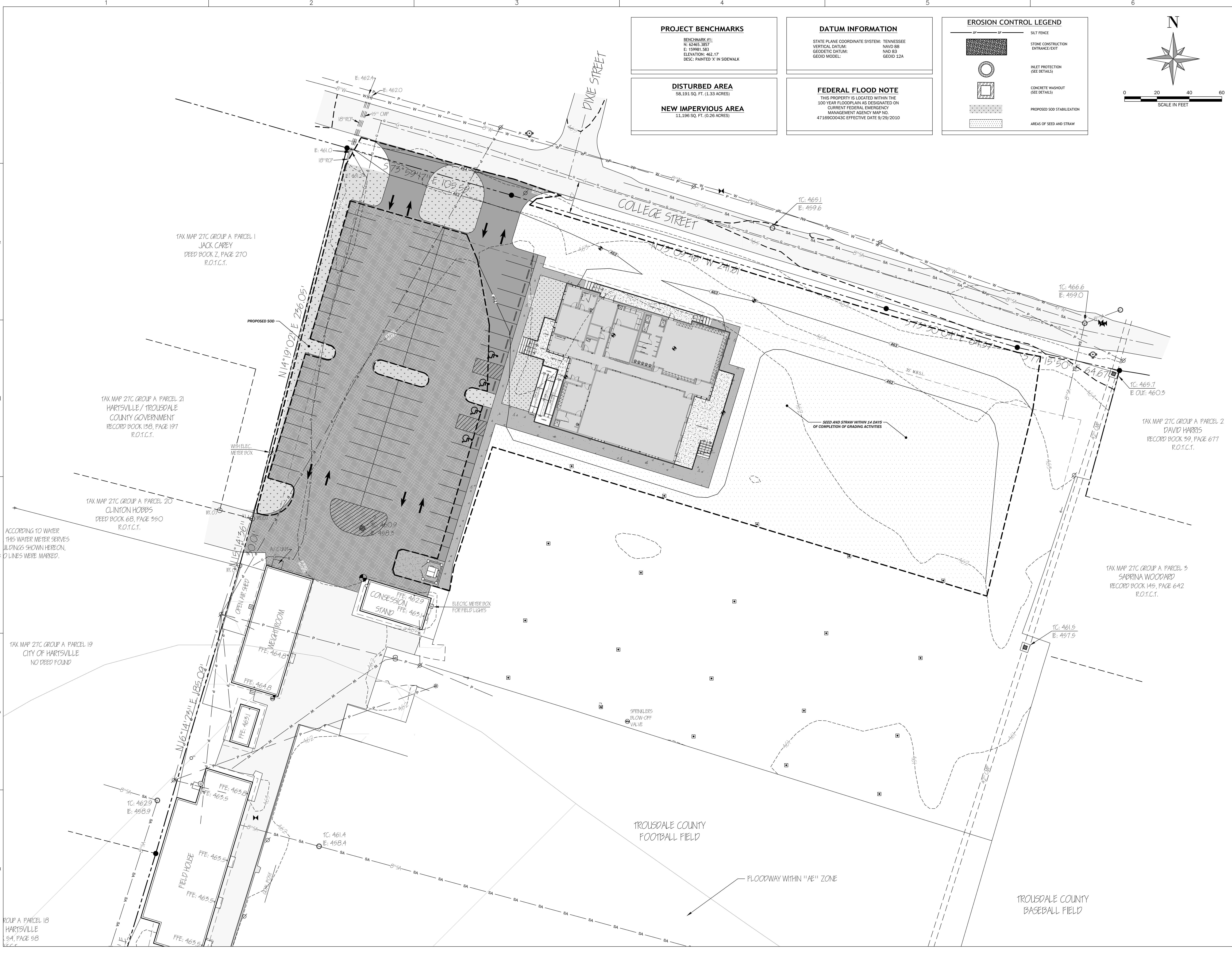
PROJECT BENCHMARKS BENCHMARK #1: N: 62465.3857 E: 19981.583 ELEVATION: 462.17 DESC: PAINTED 'X' IN SIDEWALK	DISTURBED AREA 58,191 SQ. FT. (1.33 ACRES)
NEW IMPERVIOUS AREA 11,196 SQ. FT. (0.26 ACRES)	FEDERAL FLOOD NOTE THIS PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOODPLAIN AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47169C0043C EFFECTIVE DATE 9/29/2010

DATUM INFORMATION STATE PLANE COORDINATE SYSTEM: TENNESSEE VERTICAL DATUM: NAVD 88 GEODETIC DATUM: NAD 83 GEOID MODEL: GEOID 12A

EROSION CONTROL LEGEND	
	SILT FENCE
	STONE CONSTRUCTION ENTRANCE/EXIT
	INLET PROTECTION (SEE DETAILS)
	CONCRETE WASHOUT (SEE DETAILS)
	PROPOSED SOD STABILIZATION (SEE DETAILS)
	AREAS OF SEED AND STRAW



CTC DESIGN COLLABORATIVE LLC
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 a limited liability company
 4636 LEBANON PIKE, #363
 HERMITAGE, TN 37076
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 QUALITY DESIGNS • THAT INSPIRE PROJECT:



TAX MAP 27C GROUP A PARCEL 1
 JACK CAREY
 DEED BOOK Z, PAGE 270
 R.O.T.C.T.

TAX MAP 27C GROUP A PARCEL 21
 HARTSVILLE / TROUSDALE
 COUNTY GOVERNMENT
 RECORD BOOK 138, PAGE 197
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 CLINTON HOBBS
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TAX MAP 27C GROUP A PARCEL 19
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 DAVID HARRIS
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TAX MAP 27C GROUP A PARCEL 3
 SABRINA WOODARD
 RECORD BOOK 145, PAGE 642
 R.O.T.C.T.

A NEW PROJECT FOR :
TROUSDALE COUNTY HIGH SCHOOL
NEW FIELD HOUSE



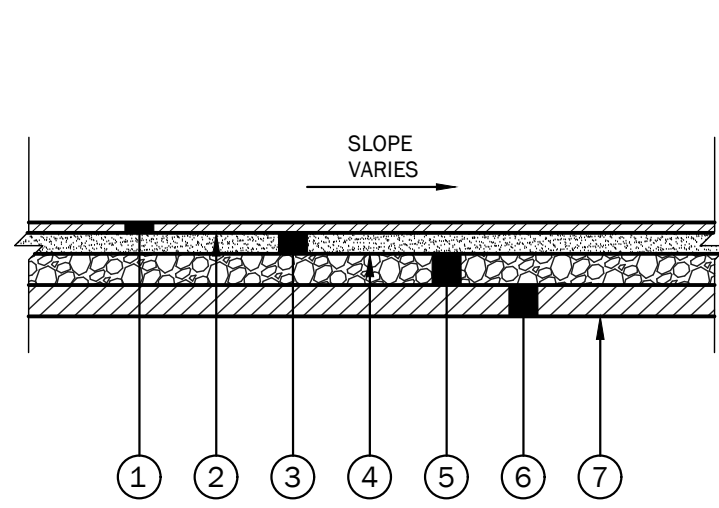
MEMBER OF
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PROJ. ARCH: COLLAQI
 DRAWN BY: A.L.
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 PROJ. NO - 23-006.01
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NO.	DESCRIPTION	DATE
1	SPM COMMENTS	07/03/24

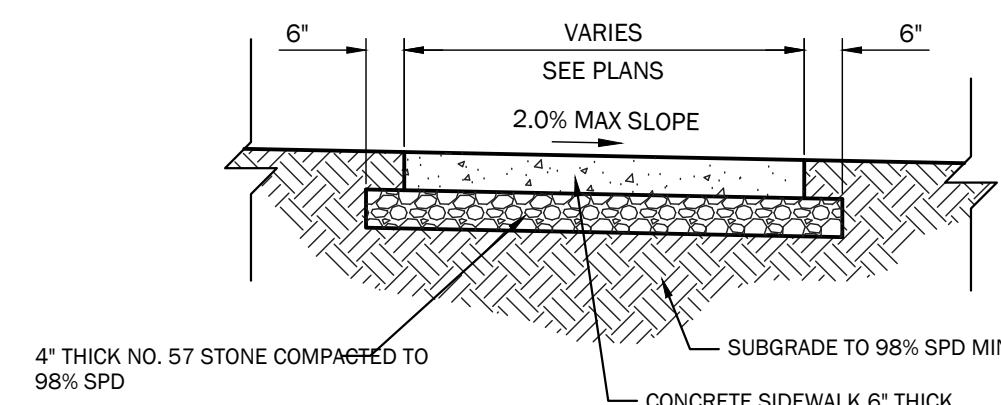
SEAL
 SHEET NAME
FINAL EPSC PLAN
 SHEET NUMBER
C6 03
TFM # 21390

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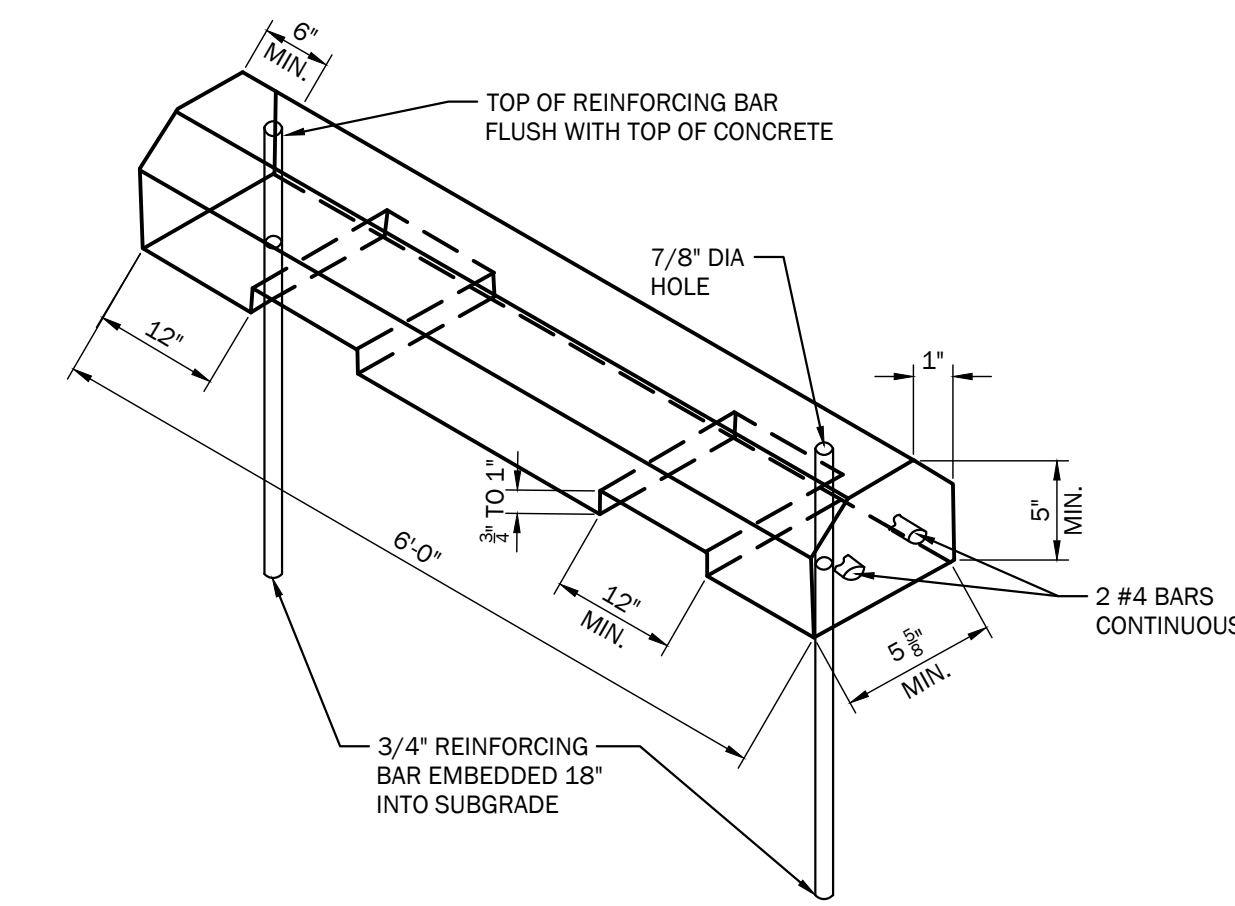
- 1 BITUMINOUS CONCRETE WEARING SURFACE LAYER, 1/2" MAXIMUM AGGREGATE SIZE MIX (TDOT 411-D/E)(1.5" COMPACTED THICKNESS)
- 2 TACK COAT (TRACKLESS TACK)
- 3 BITUMINOUS CONCRETE BINDER UPPER LAYER, 1" MAXIMUM AGGREGATE SIZE MIX (TDOT 307 BA)(2" COMPACTED THICKNESS)
- 4 PRIME COAT "A"
- 5 CRUSHED AGGREGATE STONE BASE COURSE (TDOT 307 B 903.5 TYPE A, CLASS A, GRADING D) (6" COMPACTED THICKNESS) (COMPACTED TO 100% ASTM D 1557)
- 6 SUBGRADE (ROADBED PROCESSED, COMPACTED TO 95% ASTM D 698) (8" MIN THICKNESS) (AS DIRECTED BY THE OWNER'S REPRESENTATIVE)
- 7 UNCLASSIFIED/BORROW EXCAVATION (COMPACTED TO 98% ASTM D 698)

ASPHALT PAVEMENT DETAIL

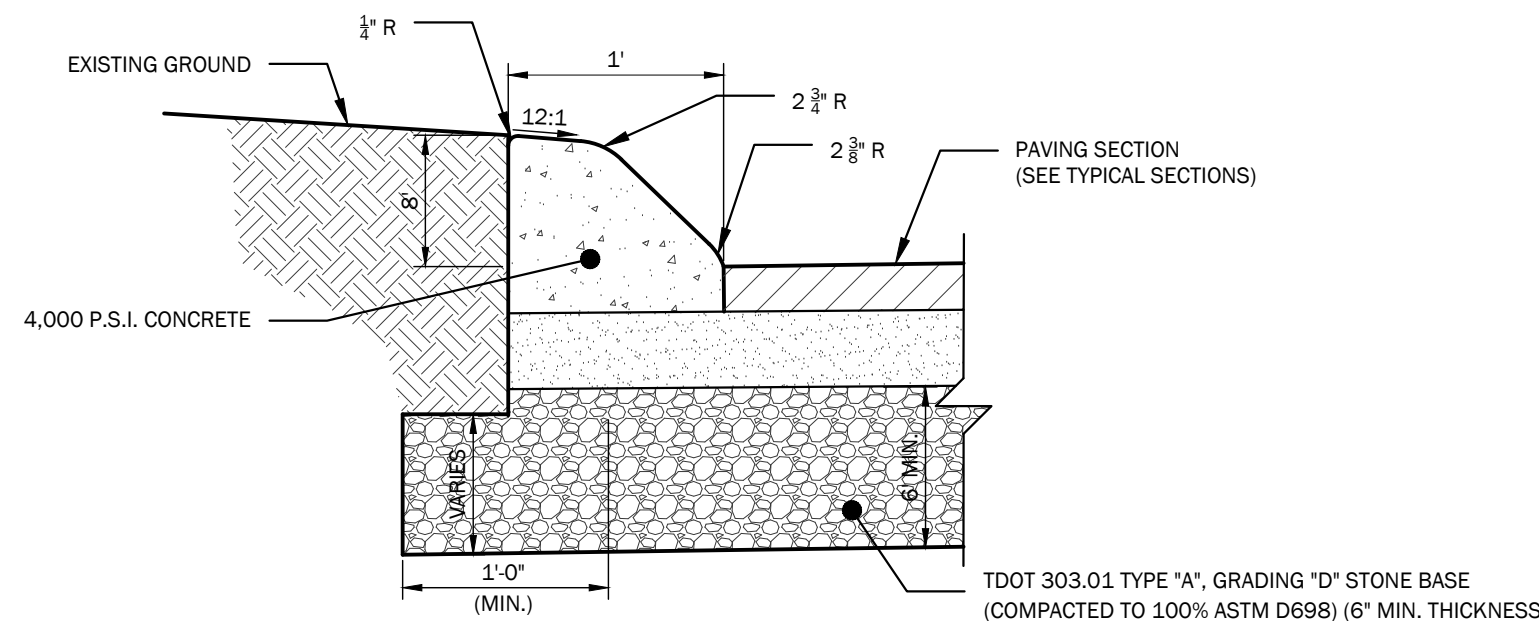


- NOTES:
1. EXPANSION JOINT REQUIRED @ 25' MAX. INTERVALS BUT NOT LESS THAN 15' WITH EXPANSION JOINT MATERIAL.
 2. CONTRACTION JOINTS SHALL BE HAND-TOOLED ONLY IN LOCATIONS AS INDICATED BY THE SCORING PATTERN SHOWN IN THE CONSTRUCTION PLANS. JOINTS SHALL BE INSTALLED AT A DEPTH OF 1/4 THICKNESS OF THE SLAB MIN. NO SAW-CUT OF JOINTS IS ALLOWED.
 3. SIDEWALKS SHALL HAVE AN EXPANSION JOINT INSTALLED IN ALL LOCATIONS WHERE NEW IMPROVEMENTS MEET EXISTING INFRASTRUCTURE.
 4. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.
 5. ALL STONE SHALL BE MECHANICALLY COMPACTED IN PLACE. NO EXCEPTIONS.
 7. EXPANSION JOINT MATERIAL SHALL BE PUSHED DOWN 1/8" FROM TOP OF SIDEWALK.
 9. EXPANSION JOINT MATERIAL SHALL BE CONTINUOUS THROUGH THE OVERALL DEPTH OF THE SIDEWALK.

SIDEWALK DETAIL

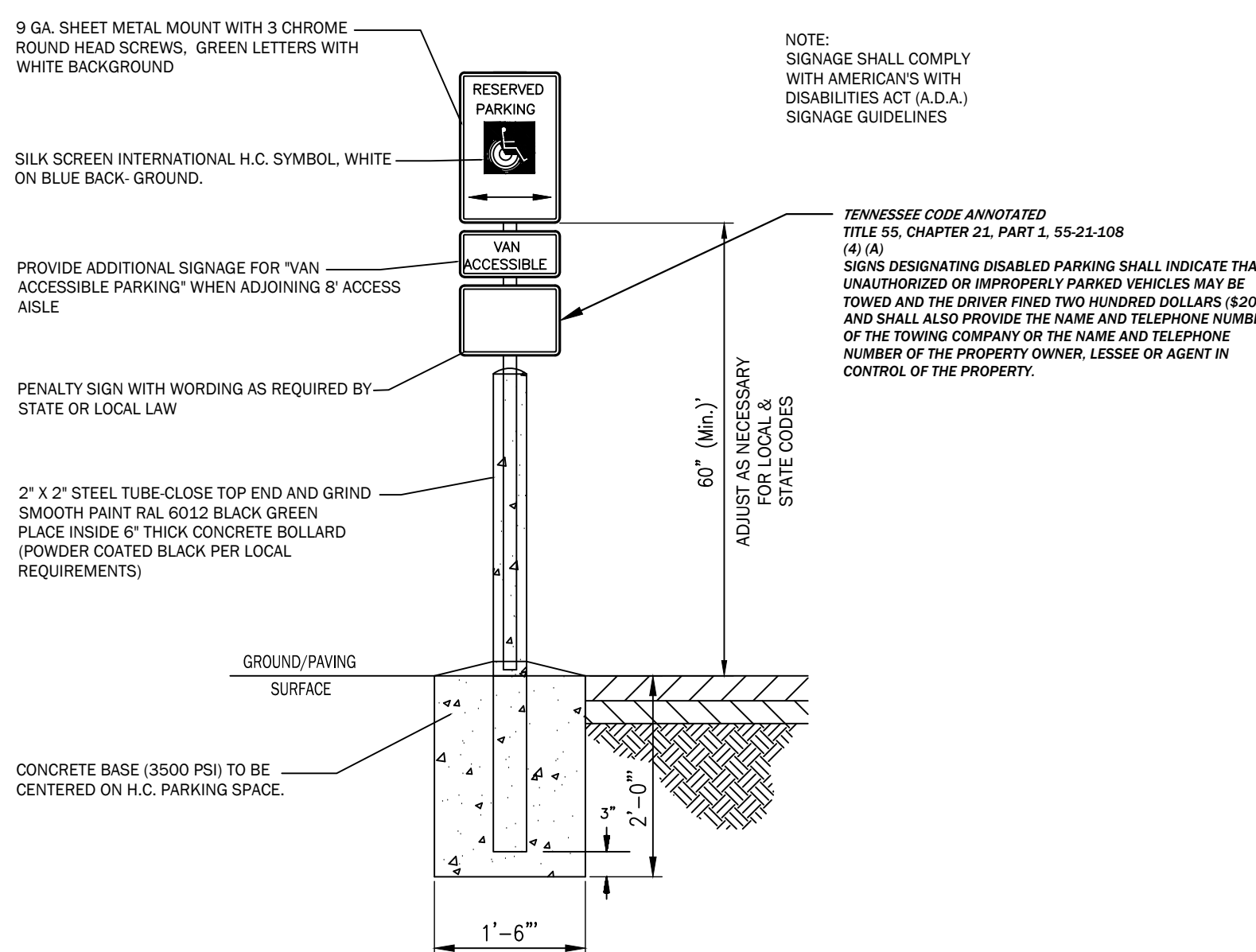


CONCRETE WHEELSTOP DETAIL

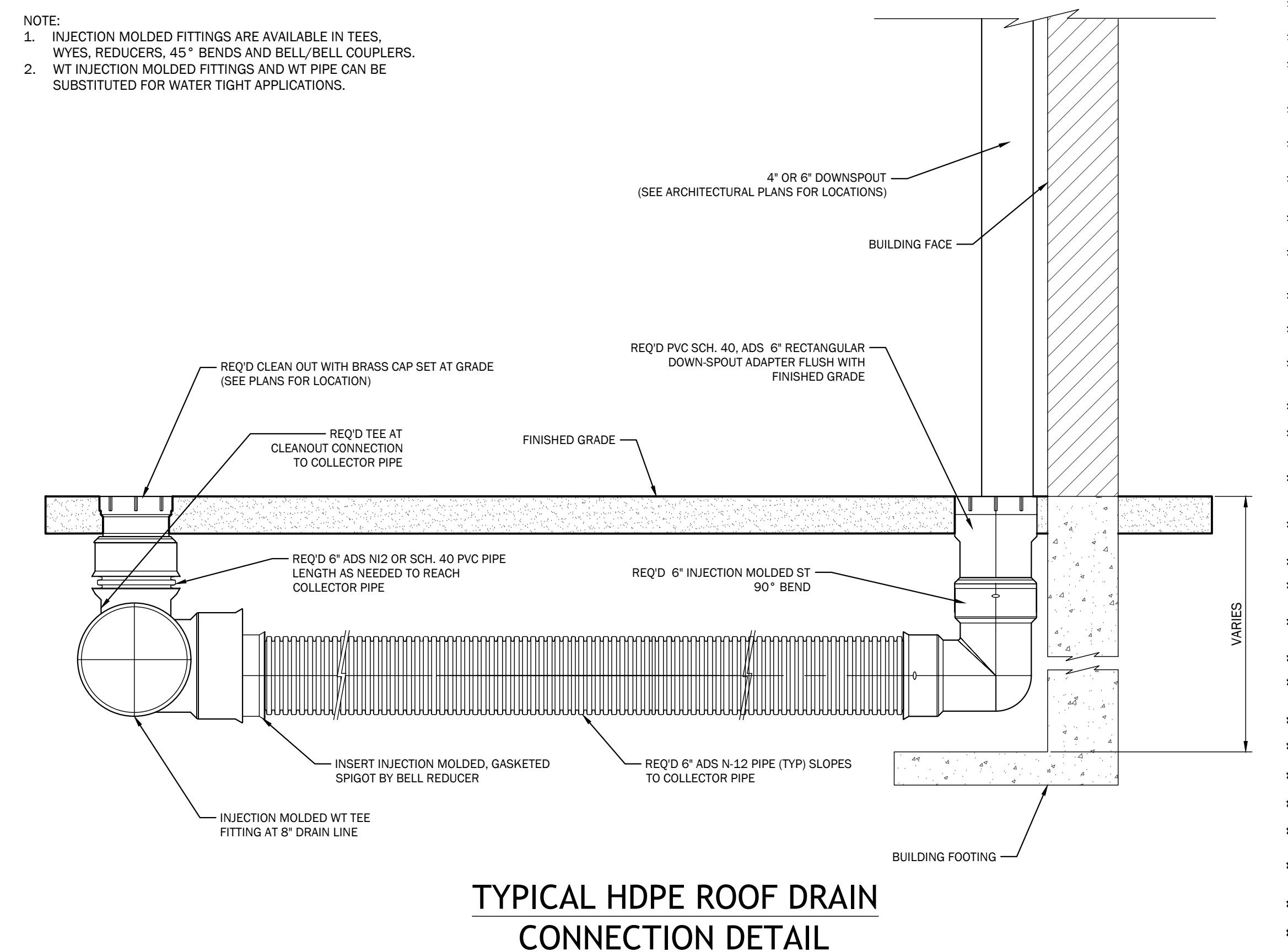


- NOTES:
1. SEE GRADING/EARTHWORK NOTES AND SPECIFICATIONS FOR SUBGRADE REQUIREMENTS.
 2. THE CONTRACTOR SHALL BE PERMITTED TO USE MACHINE PLACEMENT. THE MACHINE SHALL BE SO DESIGNED TO PLACE, SPREAD, CONSOLIDATE, SCREEN, AND FINISH THE CONCRETE IN ONE (1) COMPLETE PASS IN SUCH A MANNER THAT A MINIMUM OF HAND FINISHING WILL BE NECESSARY TO PROVIDE A BEIGE AND HOMOGENEOUS CONCRETE SECTION. THE MACHINE SHALL SHAPE, VIBRATE, AND/OR EXTRUDE THE CONCRETE FOR THE FULL REQUIRED CONCRETE SECTION BEING PLACED.
 3. EXPANSION JOINTS REQUIRED: @ 30' INTERVALS (IF HAND FORMED), AT ALL RADI POINTS AT CONCRETE ENTRANCES AND CURB RETURNS, AT DRAIN INLETS, AT END OF WORK DAYS, AND/OR ALL COLD JOINTS. FILLER MATERIAL SHALL CONFORM TO ASTM C920 AND BE FURNISHED IN A SINGLE ONE-HALF INCH (1 1/2") THICK PIECE FOR FULL DEPTH AND WIDTH OF THE JOINT.
 4. CONTRACTION JOINTS MAY BE SAW-CUT OR HAND-FORMED. JOINTS SHALL BE 1/4" CONCRETE THICKNESS IN DEPTH BY 1/8" WIDE AND SHALL BE TO 0°C.
 5. GUTTER THICKNESS SHALL MATCH ADJACENT PAVEMENT THICKNESS WHEN INSTALLED WITH CONCRETE PAVEMENT (SEE PLANS AND CONCRETE PAVEMENT DETAILS).
 6. VALLEY GUTTER ADJACENT TO CONCRETE PAVEMENT SHALL BE FURRED WITH CONCRETE THAT HAS A COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS AND 600 PSI FLEXURAL STRENGTH AT 28 DAYS.
 7. CONTRACTOR SHALL ADD 18" BOWELS, 14" LONG, 12" O.C. AT ALL VALLEY GUTTERS AND OTHER FLAT SURFACES ADJACENT TO CONCRETE PAVEMENT UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
 8. SEE GRADING/EARTHWORK NOTES AND SPECIFICATIONS FOR SUBGRADE REQUIREMENTS.
 9. WHEN CURB, CURB AND GUTTER AND/OR BANK CURB ARE REQUIRED ADJACENT TO NEW PAVEMENT, THE BASE LAYER THICKNESS SHALL VARY BENEATH THE CURB, CURB AND GUTTER OR, BASED ON THE REQUIRED PAVEMENT BUILDUP, MEASUREMENT ON UNIT PRICE CONTRACTS SHALL STILL BE MEASURED FROM ONE (1) FOOT BEHIND CURB AND THE THICKNESS VARIATION CONSIDERED INCIDENTAL. THIS LAYER OF STONE SHALL ENSURE A GOOD, ALL WEATHER SUPPORT FOR THE CURB, CURB AND GUTTER, ETC.

EXTRUDED CURB DETAIL

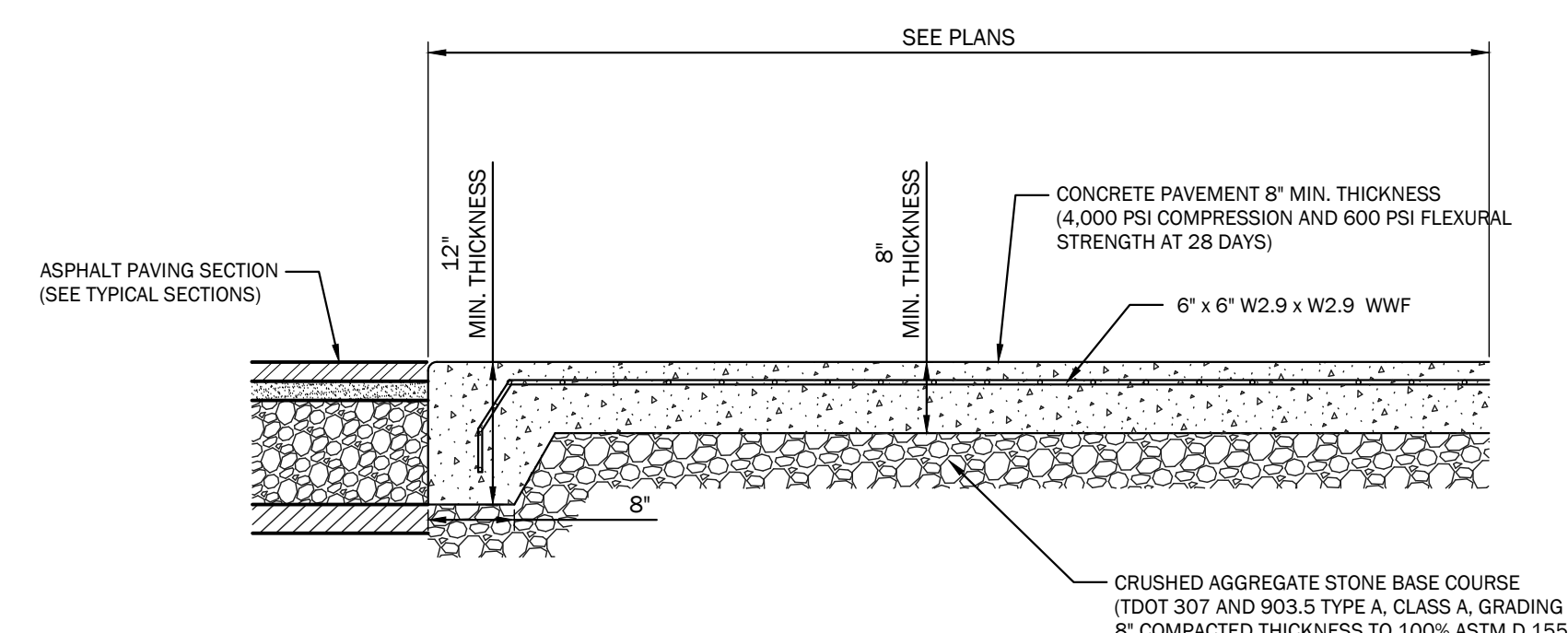


HANDICAP SIGN DETAIL



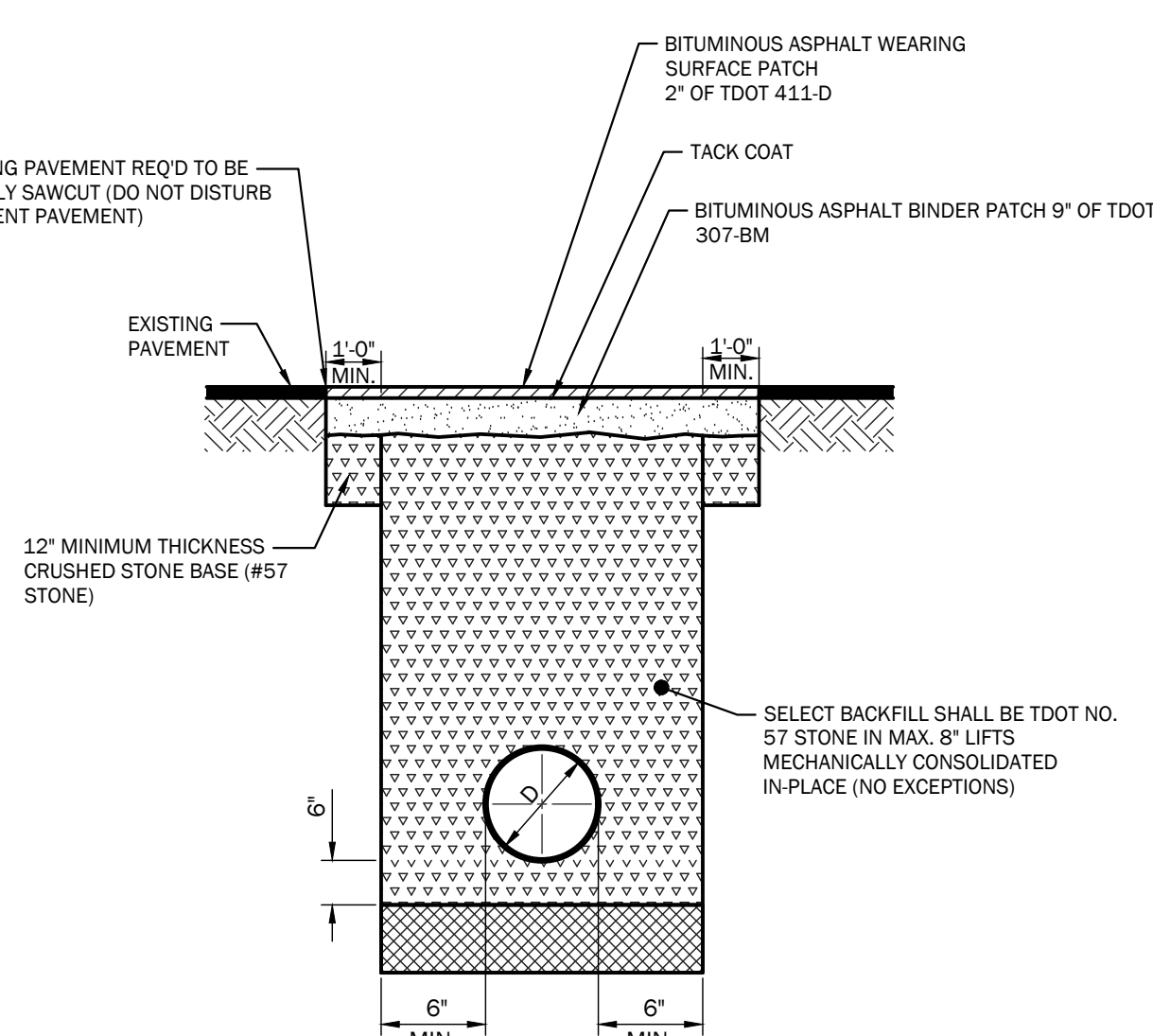
TYPICAL HDPE ROOF DRAIN CONNECTION DETAIL

SFM REVIEW COMMENTS



- NOTES:
1. THE CONCRETE SHOULD CONTAIN ENTRAINED AIR TO IMPROVE DURABILITY, THE AIR CONTENT SHOULD BE COMPATIBLE WITH THE MAXIMUM AGGREGATE SIZE AND THE PROJECT LOCATION.
 2. THE PAVEMENTS SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH APPLICABLE ACI GUIDELINES, INCLUDING JOINT SPACING.
 3. THE PAVEMENTS SURFACE SHOULD HAVE A POSITIVE SLOPE.
 4. CONTRACTION JOINTS SHOULD BE SAWS AS SOON AS THE CONCRETE WILL ALLOW. THE JOINTS SHOULD BE SUBSEQUENTLY SEALED TO REDUCE SURFACE WATER INFILTRATION INTO THE PREPARED SUBBASE.
 5. CONSTRUCTION JOINTS (EXCEPT SAW JOINTS) SHOULD BE UNDERLAIN BY A NON-WOVEN GEOTEXTILE (ABOUT 2 FEET WIDE) TO REDUCE THE POTENTIAL FOR THE UPWARD MOVEMENT OF SOIL FINES THROUGH THE JOINTS.
 6. LOADING (TRAFFIC) SHOULD NOT BE ALLOWED UNTIL THE CONCRETE HAS ACHIEVED AT LEAST 85 PERCENT OF ITS DESIGN STRENGTH.
 7. LANDSCAPE BEDS OR ISLANDS NOT BE USED BECAUSE THEY MAY PROVIDE A MEANS FOR WATER TO ENTER INTO THE PAVEMENT SECTION AND UNDERLYING SOIL. SUBGRADE, IF LANDSCAPE IS DESIRED, ABOVE GRADE PLANTER BOXES, WITH DRAINAGE DISCHARGE ONTO THE TOP OF THE PAVEMENT OR DIRECTED INTO SEWERS, SHOULD BE USED IN THE CONSTRUCTION.

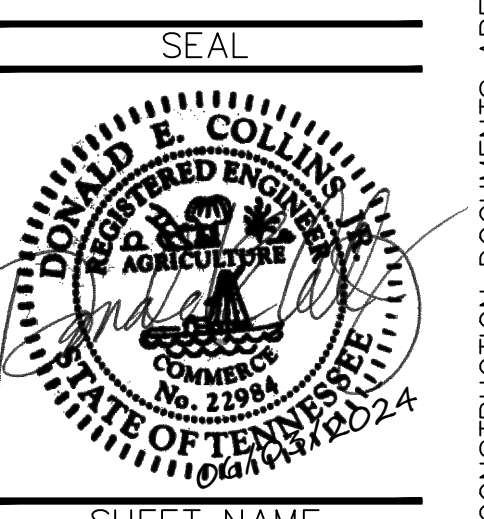
DUMPSTER PAD DETAIL



UTILITY TRENCH REPAIR IN PAVEMENT

PROJ. ARCH: COLLAQI
DRAWN BY: A.L
CHECKED BY: J.C
PROJ. NO- 23-006.01
DATE: JUNE 3, 2024
REVISIONS

NO.	DESCRIPTION	DATE
1	SFM COMMENTS	07/03/24



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PLANNING OFFICE | CODES, ZONING, AND BUILDING

328 Broadway, Room 1 | Hartsville, TN 37074
office (615) 374-1125 | cell (615) 374-5066
htcgplanning@trousdalecountytn.gov

SITE PLAN APPLICATION – \$250.00

MINOR SUBDIVISION APPLICATION – \$250.00
(5 lots or less)

PLAT AMENDMENT APPLICATION – 200.00

MAJOR SUBDIVISION APPLICATION – \$500.00

PARCEL INFORMATION

Property Owner Christain Minch Phone [REDACTED]

Property Address 345 Sam Beasley City Hartsville TN Zip code 37074

Tax Map Number 026 Group _____ Parcel 037.04 Record/Deed Book _____

Subdivision Name Marshall Farm Phase _____ Lot# _____

Water Source Hartsville Water Sewer or Septic Sewer

APPLICANT INFORMATION

Applicant Name L&E Properties Developers Phone [REDACTED]

Mailing Address 107 Peters Court City Murfreesboro TN Zip code 37128

Email [REDACTED]

[REDACTED] 8/27/2024
Applicant Signature Date Submitted

IMPACT INFORMATION

Public Utilities Hartsville Water, Tri County Electric

Affected Roads Sam Beasley RD

Schools Affected _____

ACTION TAKEN

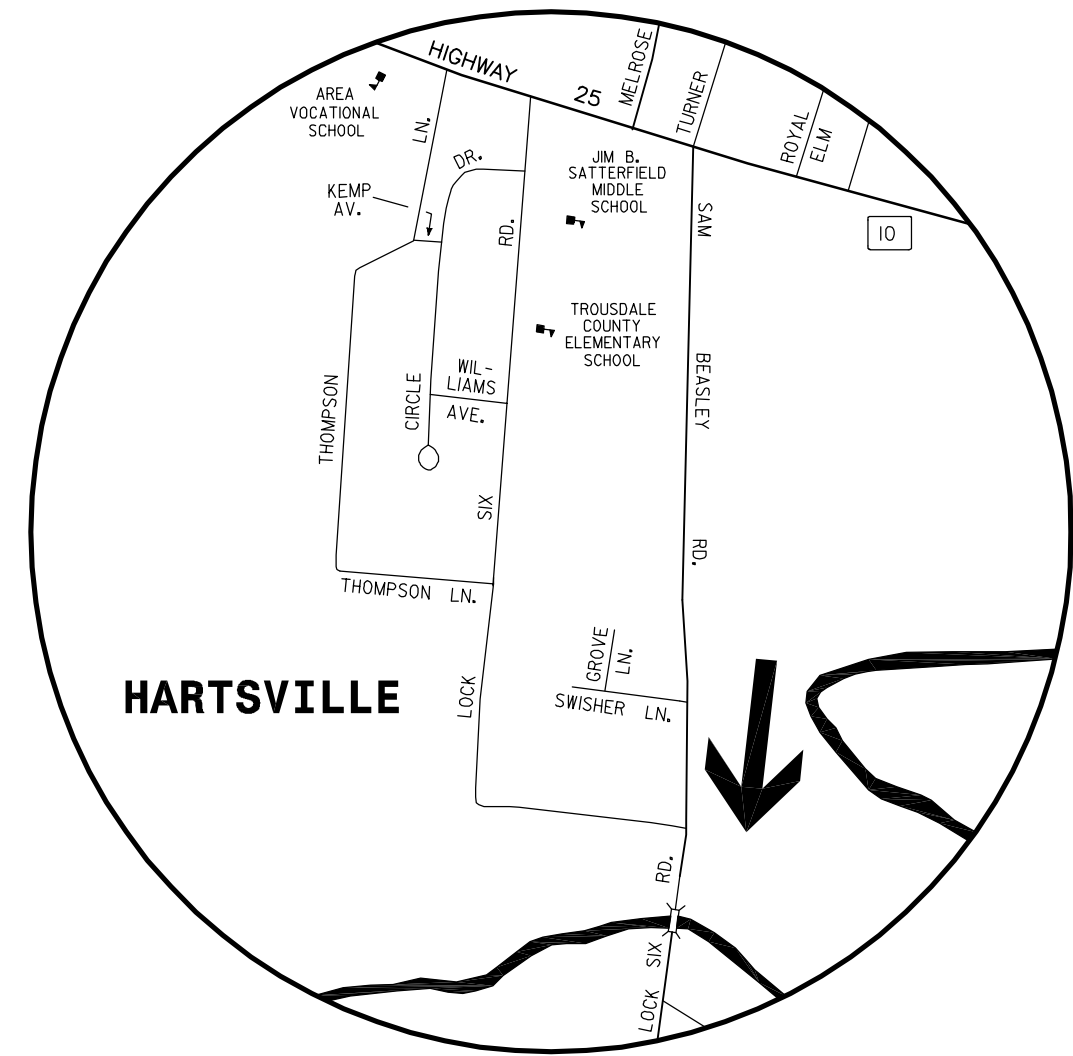
Reviewed by Planning Commission _____ Action _____

Passed _____ Failed (State Reason) _____

Reset Form

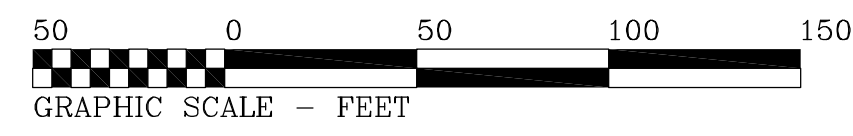
Save As

LOCATION SKETCH n.t.s.

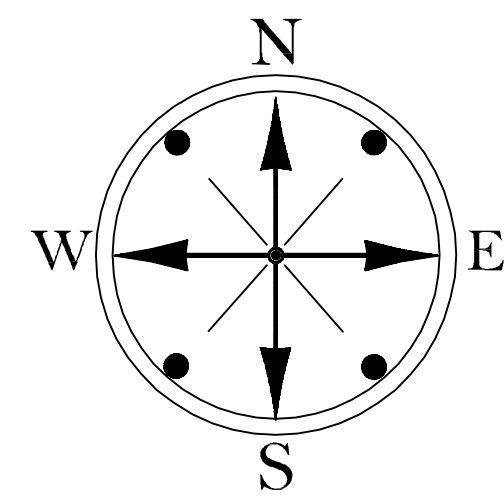


SKETCH PLAT FOR CHRISTIAN MINCH

LOCATED IN THE 7TH CIVIL DISTRICT OF TROUSDALE COUNTY, TENNESSEE



SCALE : 1" = 50'
DATE : SEPTEMBER 20, 2024
SIZE : 7.15 AC.+-
DEED : R. B. 154, PG. 669, R.O.T.C.T.
MAP : MAP 26, PAR. 37.04, T.A.O.T.C.T.



SAM BEASLEY ROAD

PHILLIP HOLDER
RECORD BOOK 154, PAGE 621
MAP 26, PARCEL 37.03

BRENDA K. JONES
RECORD BOOK 156, PAGE 511
MAP 26, PARCEL 37.05

MINK & MINK
RECORD BOOK 154, PAGE 644
MAP 26, PARCEL 37.06

ROBERT C. HELSON
RECORD BOOK 154, PAGE 604
MAP 26, PARCEL 37.07

**U.S. CORPS
OF ENGINEERS**
OLD HICKORY LAKE

NOTES:

- PROPERTY IS ZONED R1 - TROUSDALE COUNTY
- AS PROPOSED THIS SUBDIVISION CONTAIN 11 RESIDENTIAL LOTS & 1 MAILBOX/ COMMON AREA LOT
- ALL LOTS SHALL BE A MINIMUM OF 15,000 SQUARE FEET IN SIZE
- ALL LOTS SHALL BE A MINIMUM OF 100 FEET WIDE AT BUILDING SITE

MAIL
& OPEN

100 YEAR
FLOOD LINE
+-LOCATION

FLOOD
ZONE
AE

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1 : 10,000 AS SHOWN HEREON.



CARMAN SURVEYING
50 LINDA LAKE
HARTSVILLE, TENNESSEE
PHONE: (615) 374-3944

HARTSVILLE/TROUSDALE COUNTY
PLANNING OFFICE | CODES, ZONING, AND BUILDING

328 Broadway, Room 1 | Hartsville, TN 37074
office (615) 374-1125 | cell (615) 374-5066
htcgplanning@trousdalecountytn.gov

- SITE PLAN APPLICATION – \$250.00 MINOR SUBDIVISION APPLICATION – \$250.00
(5 lots or less)
- PLAT AMENDMENT APPLICATION – 200.00 MAJOR SUBDIVISION APPLICATION – \$500.00

PARCEL INFORMATION

Property Owner Fleming Homes Phone 8 [REDACTED]

Property Address Sulphur College Rd City Hartsville TN Zip code 37074

Tax Map Number 18 Group _____ Parcel 4.42 Record/Deed Book _____
4.43
4.44

Subdivision Name Helm Property Phase _____ Lot# 2,3,4

Water Source Public Water Sewer or Septic Septic

APPLICANT INFORMATION

Applicant Name Beau Agee Phone [REDACTED]

Mailing Address 110 S. Cumberland St City Lebanon TN Zip code 37087

Email [REDACTED]

[REDACTED] Date Submitted 9-18-24

Applicant Signature _____

IMPACT INFORMATION

Public Utilities HARTSVILLE WATER; TRI COUNTY ELECTRIC

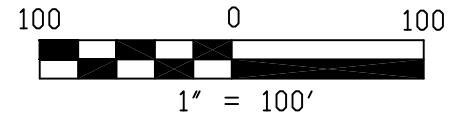
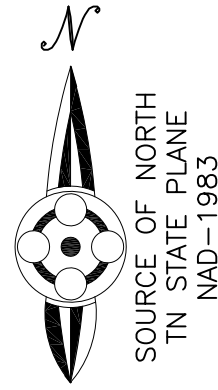
Affected Roads Sulphur College Rd

Schools Affected _____

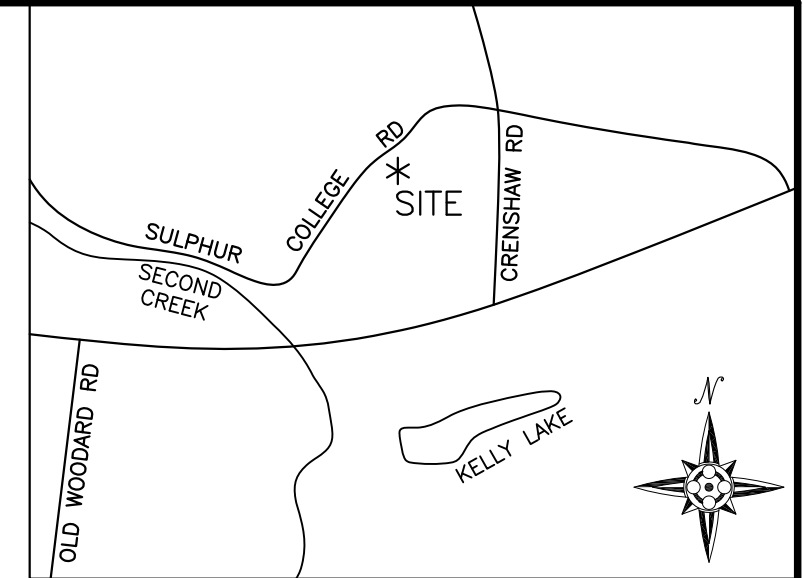
ACTION TAKEN

Reviewed by Planning Commission _____ Action _____

Passed _____ Failed (State Reason) _____



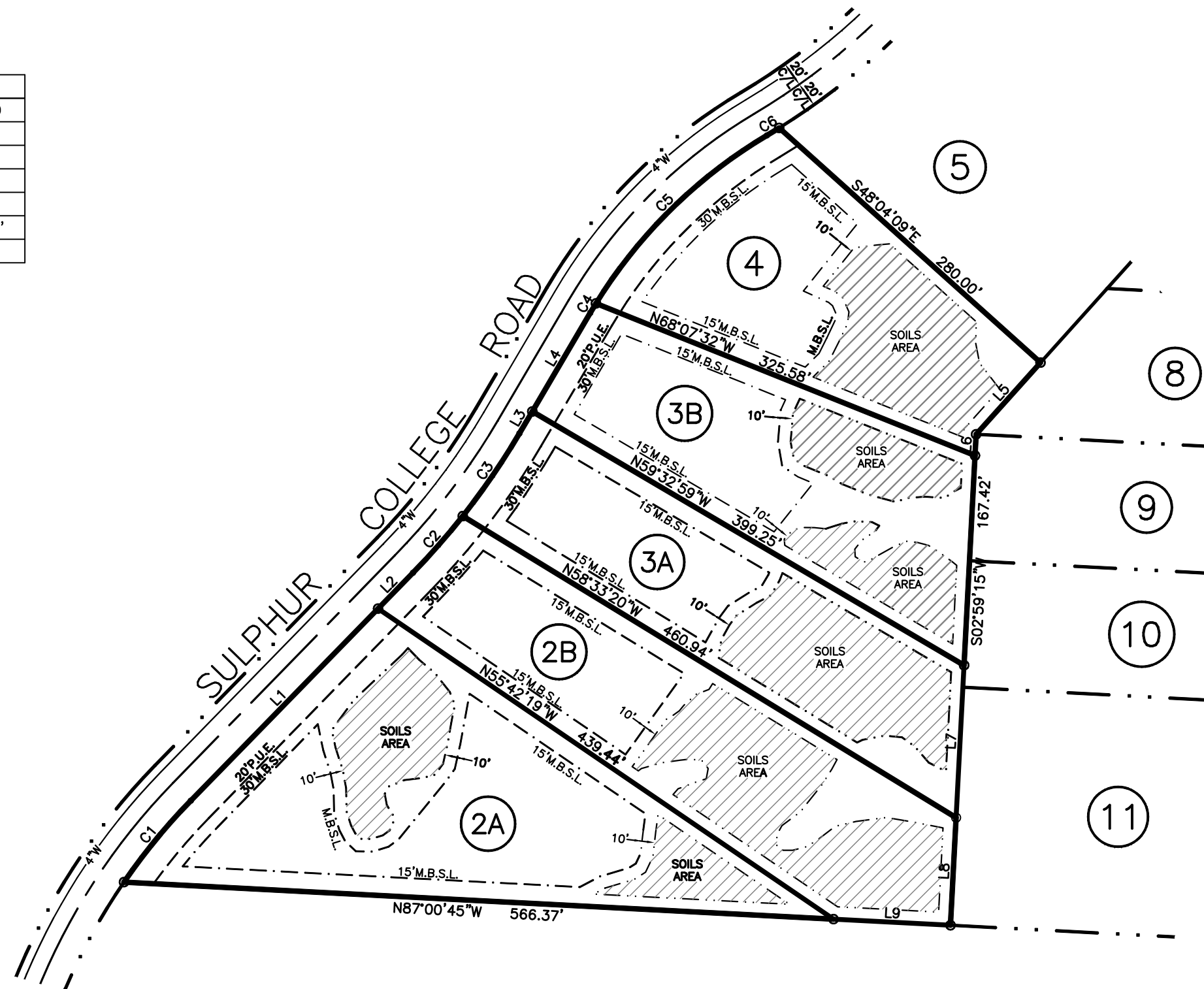
LOT 2A: 65,535 SQ.FT. +/- OR 1.50 AC. +/-
 LOT 2B: 53,321 SQ.FT. +/- OR 1.22 AC. +/-
 LOT 3A: 44,495 SQ.FT. +/- OR 1.02 AC. +/-
 LOT 3B: 45,753 SQ.FT. +/- OR 1.05 AC. +/-
 LOT 4: 43,911 SQ.FT. +/- OR 1.01 AC. +/-



VICINITY MAP: NOT TO SCALE

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	84.17'	490.50'	9°49'55"	S39°21'20"W	84.07'
C2	60.14'	580.80'	5°55'59"	N41°18'18"E	60.11'
C3	79.96'	580.80'	7°53'17"	N34°23'40"E	79.90'
C4	8.82'	401.20'	1°15'37"	S31°04'50"W	8.82'
C5	192.80'	401.20'	27°32'03"	S45°28'39"W	190.95'
C6	11.58'	564.30'	1°10'34"	N58°39'24"E	11.58'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S44°16'17"W	213.79'
L2	S44°16'17"W	39.92'
L3	N30°27'01"E	20.29'
L4	N30°27'01"E	91.18'
L5	N41°55'51"E	76.80'
L6	N02°59'15"E	17.00'
L7	N02°59'15"E	121.71'
L8	N02°59'15"E	85.87'
L9	S87°00'45"E	93.40'



Certificate of Survey Accuracy

I (we) hereby certify that to the best of my (our) knowledge and belief this is a true and accurate survey of the property shown hereon; that this is a Class "1" Land Survey, as defined in Title 62, Chapter 18, Tennessee Code Annotated, and that the ratio of precision is greater than or equal to 1:10,000.

Date: _____ Beau Marshall Agee, PLS TN #2871



PROPERTY INFO:
 OWNER: FLEMING HOMES
 DB., P., R.O.T.C.

SKETCH PLAT OF RESUBDIVISION OF
LOTS 2, 3, & 4 – HELM PROPERTY
 MAP 18, PARCELS 4.42, 4.43, & 4.44
 7TH CIVIL DISTRICT of TROUSDALE COUNTY, TN
 ZONING: R-1
 DATE: SEPTEMBER 17, 2024 JOB # 24-0607-A1724

APALS
 AGEE PROFESSIONAL
 LAND SURVEYING, LLC
 110 S. CUMBERLAND ST.
 LEBANON, TN 37087
 615.887.1371
 beauagee1@gmail.com